

## **City of Eudora Modified Public Meeting Procedure**

The City of Eudora will hold a special City Commission meeting on Tuesday, August 18, 2020 beginning at 6:00 P.M. Due to the concerns of spread of COVID-19, the City Commission meeting will be held at City Hall but some city commissioners may participate remotely. To meet the spirit and intent of the Kansas Open Meetings Act (KOMA), anyone can listen to the meeting live via a conference call. This access can be gained as follows:

Dial-in number (US): (701) 802-5407

Access code: 7548666#

Members of the City Commission, presenters, or staff will identify themselves when speaking so that everyone will know who is speaking at the time.

**EUDORA CITY COMMISSION  
SPECIAL MEETING AGENDA  
August 18, 2020  
Eudora City Office  
4 East 7<sup>th</sup> Street Eudora, Kansas  
6:00 P.M.**

**Mayor: Tim Reazin**

**Vice Mayor: Ruth Hughs**

**City Commissioners: Jolene Born, Roberta Lehmann & Tim Bruce**

- I. CALL TO ORDER      Roll Call      Pledge of Allegiance**
- II. CHANGES OR ADDITIONS TO AGENDA – Approve agenda**
- III. CONSENT ITEMS:  
    A. None**
- IV. BUSINESS ITEMS:  
    A. Consider Final Development Plan submitted by Casey’s General Stores, Inc.**
- V. EXECUTIVE SESSION:  
    A. Consultation with an attorney which is deemed privileged in the attorney-client relationship**
- VI. Adjournment**

*As a courtesy, please silence all cell phones while the City Commission meeting is in session.*



## Agenda Statement

**Date:** August 18, 2020  
**To:** Mayor and City Commission  
**From:** Barack Matite, City Manager  
**Re:** **Casey's General Store – Final Development Plan Documents**

### Background

Following the City Commission meeting on August 10, 2020, Casey's General Stores took the Commission's feedback and comments to their team to discuss the proposed changes and make adjustments. Following is a list of the changes that Casey's has proposed and the additional/updated documentation they have submitted for the Commission's consideration.

### Review Criteria and Considerations

The City Commission asked Casey's to consider four changes. The updated information is below:

1. The City would like the front elevation to be more symmetrical as previously suggested by the City's design consultant.
  - Casey's is agreeable to this and make the requisite changes in the submitted elevations.
2. Reduce the 13' Tall Monument Sign to meet City requirements. City would like to reduce the height if possible if the width could be increased.
  - Casey's is sticking with the monument sign submitted. Casey's has already provided a custom design of the monument sign from previous comments from City's design consultants.
  - Casey's is okay with moving the monument sign slightly to be out of the sight triangle.
3. City staff, after further review, would like more landscaping around the trash enclosure.
  - Casey's is fine with moving shrubs/trees around to satisfy this requirement.
4. City would like Casey's to consider another simulated slate shingle.
  - Casey's would like to use what is currently submitted.

Materials from the August 10 meeting, related to this item, have been included in your packet as reference as well.

**Budget Impact – N/A**

## **City Manager Approval – N/A**

### **Recommended Commission Action:**

*Suggested motion:* I move the City Commission approve the recommendation of the Planning Commission and approve the amended final development plan application, including the identified deviations, with the following conditions:

1. Adjustments regarding the symmetry of the front elevation of the building, the placement of the monument sign outside of the site triangle, and the movement of landscaping to visually soften the trash enclosure will be incorporated into the final development plan for review and approval by City staff.
2. Clean up any general typographical/technical errors and add information as necessary to address previous staff review comments.
3. Plat (final plat approval and recording/filing required prior to building permit issuance) the property encompassed by the proposed development in accordance with City regulations.
4. Provide evidence of the establishment of the agency for the ownership and maintenance of any common open space and all assurances of the financial and administrative ability of such agency, as well as the provision of any covenants/restrictions (tenant criteria) as part of the final plat review and approval process.
5. Address all design, development and construction details in a manner that meets City requirements through the final plat, public improvement plan, building/construction plan and other applicable permitting processes.
6. Meet all applicable federal, state, and local regulations and acquiring applicable permits.



## Agenda Statement

**Date:** August 10, 2020  
**To:** Mayor and City Commission  
**From:** Planning Commission  
**Re:** Consider approving the Final Development Plan for the Casey's site in the Nottingham Center

### Background

On June 12, 2020 the City of Eudora received a Final Development Plan application for the Casey's site within the Nottingham commercial development (POD) on property addressed as 1428 Elm Street. The approved preliminary development plan for the Nottingham commercial development included a phased development approach. This proposed project is the first project within the development and is located on the northeast corner of the overall development site (the southwest corner of 14<sup>th</sup> and Church) and is within a Commercial POD zoning district which requires a final development plan per Section 16-310 of the Eudora Zoning Regulations.

The application materials were reviewed by the owner of the property (in this case the City as represented by the Nottingham development consultant team) for compliance with the approved tenant criteria and by City Staff for compliance with the applicable City of Eudora regulations and policies. Review comments were provided to the applicant and the applicant subsequently provided responses and revisions to the submitted application materials on July 7, 2020. Since July 7 the architectural and sign package has been revised at the owner's request to better address the applicable tenant criteria approved as part of the preliminary development plan. These revisions and responses were found to be acceptable by the owner in light of their applicable criteria and are included in the agenda packet.

The area proposed to be developed is approximately 1.52 acres of vacant land which is would be utilized as a convenience store with auto fueling service. The proposed future development consists of the following structural elements - a single story building of approximately 4,000 square feet, an overhead canopy covering approximately 3,700 square feet and a dumpster / recycle enclosure area of approximately 560 square feet. On-site and off-site infrastructure (roadway and utility) improvements are also anticipated and are being planned for as part of the proposed development project.

### REVIEW CRITERIA / CONSIDERATIONS

In regard to the review of the final development plan application material, the City Staff has determined that the plan is consistent with the approved preliminary development plan and has found that no substantial changes are being proposed per the criteria found in Section 16-310 (8) (f) as follows:

1. *Changes in the density or intensity of residential uses greater than 5 percent.*

- II. *Increases in the total floor area of all nonresidential buildings covered by the plan greater than 10 percent.*
- III. *Increases of lot coverage greater than 5 percent.*
- IV. *Decreases of areas devoted to open space greater than 5 percent, or the substantial relocation of such areas.*
- V. *Changes of traffic circulation patterns that will affect traffic outside of the project boundaries.*
- VI. *Modification or removal of conditions to the preliminary development plan approval.*
- VII. *Changes to the water or sanitary sewer plans that impact these utilities outside the project boundaries.*

Although substantial changes have not been proposed, the applicant has requested a number of deviations from the approved tenant handbook criteria and the owner’s development team has approved such deviations. Additionally, the following deviations related to the Eudora Sign Regulations have been noted through the staff review:

<b>Signage – Monument sign:</b> Proposed monument sign dimensions exceed city sign regulations.	
City Monument sign regulation	Casey’s monument sign
Max area – 64 sq. ft	Total area – 78.24 sq. ft
Max Ht. – 6 ft	Ht. – 13 ft

**Signage - Gas Canopy signs:** Three signs are proposed to be attached to the gas canopy. In the past one such sign has been allowed per business.

**Budget approval – N/A**

**City Manager Approval – N/A**

**Recommended Commission Action**

*Suggested motion:* I move the City Commission approve the recommendation of the Planning Commission and approve the final development plan application, including the identified deviations, with the following conditions:

1. Clean up any general typographical / technical errors and add information as necessary to address previous staff review comments.
2. Plat (final plat approval and recording / filing required prior to building permit issuance) the property encompassed by the proposed development in accordance with City regulations.
3. Provide evidence of the establishment of the agency for the ownership and maintenance of any common open space and all assurances of the financial and administrative ability of such agency, as well as the provision of any covenants / restrictions (tenant criteria) as part of the final plat review and approval process.
4. Address all design, development and construction details in a manner that meets City requirements through the final plat, public improvement plan, building / construction plan and other applicable permitting processes.
5. Meet all applicable federal, state and local regulations and acquiring applicable permits.

# Staff Report

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**TO:** City of Eudora Planning Commission  
**FROM:** Dave Knopick, AICP - Planning Consultant for the City of Eudora  
**SUBJECT:** Final Development Plan application for the proposed Casey's within the Nottingham commercial development located at 1428 Elm Street, Eudora, KS  
**MEETING:** August 5, 2020

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## BACKGROUND

On June 12, 2020 the City of Eudora received a Final Development Plan for the Casey's site within the Nottingham commercial development (POD) on property addressed as 1428 Elm Street. The approved preliminary development plan for the Nottingham commercial development included a phased development approach. This proposed project is the first project within the development and is located on the northeast corner of the overall development site (the southwest corner of 14<sup>th</sup> and Church) and is within a Commercial POD zoning district which requires a final development plan per Section 16-310 of the Eudora Zoning Regulations.

The application materials were reviewed by the owner of the property (in this case the City as represented by the Nottingham development consultant team) for compliance with the approved tenant criteria and by City Staff for compliance with the applicable City of Eudora regulations and policies. Review comments were provided to the applicant and the applicant subsequently provided responses and revisions to the submitted application materials on July 7, 2020. Since July 7 the architectural and sign package has been revised at the owner's request to better address the applicable tenant criteria approved as part of the preliminary development plan. These revisions and responses were found to be acceptable by the owner in light of their applicable criteria and are included in the agenda packet.

The area proposed to be developed is approximately 1.52 acres of vacant land which is would be utilized as a convenience store with auto fueling service. The proposed future development consists of the following structural elements - a single story building of approximately 4,000 square feet, an overhead canopy covering approximately 3,700 square feet and a dumpster / recycle enclosure area of approximately 560 square feet. On-site and off-site infrastructure (roadway and utility) improvements are also anticipated and are being planned for as part of the proposed development project.

## REVIEW CRITERIA / CONSIDERATIONS

In regard to the review of the final development plan application material, the City Staff has determined that the plan is consistent with the approved preliminary development plan and has found that no substantial changes are being proposed per the criteria found in Section 16-310 (8) (f) as follows:

- I. *Changes in the density or intensity of residential uses greater than 5 percent.*
- II. *Increases in the total floor area of all nonresidential buildings covered by the plan greater than 10 percent.*
- III. *Increases of lot coverage greater than 5 percent.*

## Staff Report

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- IV. *Decreases of areas devoted to open space greater than 5 percent, or the substantial relocation of such areas.*
- V. *Changes of traffic circulation patterns that will affect traffic outside of the project boundaries.*
- VI. *Modification or removal of conditions to the preliminary development plan approval.*
- VII. *Changes to the water or sanitary sewer plans that impact these utilities outside the project boundaries.*

Although substantial changes have not been proposed, the applicant has requested a number of deviations from the approved tenant handbook criteria and the owner's development team has (at the time this report was developed) preliminarily approved such deviations subject to the completion of the owner's review. Additionally, the following deviations related to the Eudora Sign Regulations have been noted through the staff review:

**Signage – Monument sign:** Proposed monument sign dimensions exceed city sign regulations.

City Monument sign regulation

Max area – 64 sq. ft

Max Ht. – 6 ft

Casey's monument sign

Total area – 78.24 sq. ft

Ht. – 13 ft

**Signage - Gas Canopy signs:** Three signs are proposed to be attached to the gas canopy. In the past one such sign has been allowed per business.

### RECOMMENDATION

The Planning Commission should hear from representatives for the application and receive / consider public comment regarding the proposed development. After hearing from those present and discussing the materials provided the Planning Commission should make a recommendation to the City Commission. Staff recommends that the Planning Commission recommend approval of the final development plan application, including the identified deviations, with the following conditions:

1. Clean up any general typographical / technical errors and add information as necessary to address previous staff review comments.
2. Plat (final plat approval and recording / filing required prior to building permit issuance) the property encompassed by the proposed development in accordance with City regulations.
3. Provide evidence of the establishment of the agency for the ownership and maintenance of any common open space and all assurances of the financial and administrative ability of such agency, as well as the provision of any covenants / restrictions (tenant criteria) as part of the final plat review and approval process.
4. Address all design, development and construction details in a manner that meets City requirements through the final plat, public improvement plan, building / construction plan and other applicable permitting processes.
5. Meet all applicable federal, state and local regulations and acquiring applicable permits.



FRONT ELEVATION



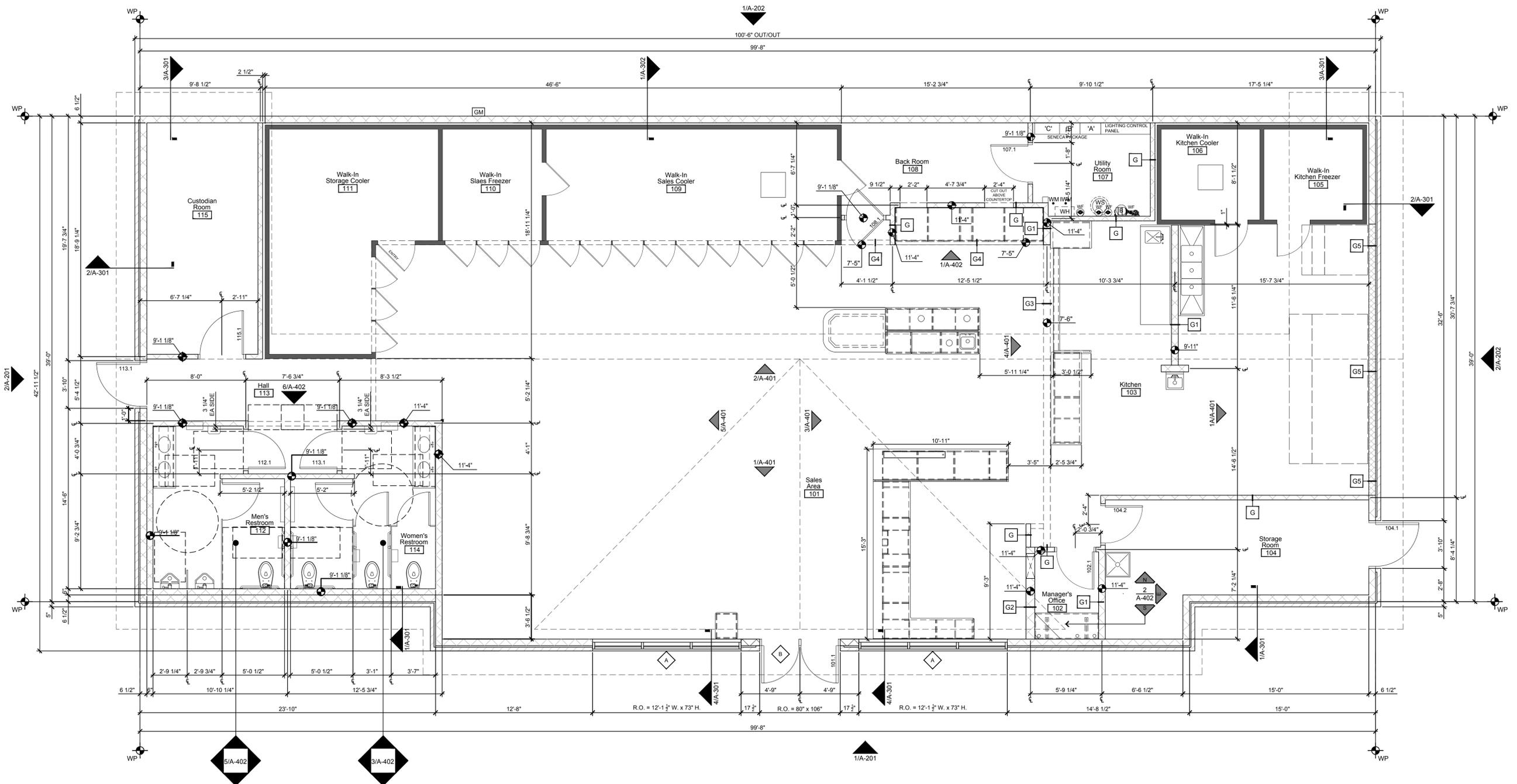
RIGHT ELEVATION

**SCH<sub>EM</sub>MER**

*Design with Purpose. Build with Confidence.*

**EUDORA, KS**





Architectural Floor Plan  
1/4" = 1' - 0"

### General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
- RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:  
 A-100: WALL BLOCKING PLAN AND NOTES  
 A-601: DOOR, WINDOW & FINISH SCHEDULES AND NOTES  
 A-701: FLOOR FINISH PLAN  
 A-Q-101: EQUIPMENT AND FIXTURE INSTALLATION PLAN AND SCHEDULE  
 S-101: FOOTINGS AND FOUNDATIONS PLAN  
 S-102: FIRST FLOOR BEARING WALL AND SHEAR WALL FRAMING  
 P-101: COORDINATE WITH UNDER SLAB SANITARY WORK  
 P-102: COORDINATE WITH UNDER SLAB PLUMBING WORK
- WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
- INDICATES WALL AND HEADER HEIGHTS
- KNEE WALL ABOVE COOLER / FREEZER TO BE INSTALLED 2" BACK FROM FRONT FACE OF COOLER / FREEZER.
- WINDOW FRAME ELEVATIONS - REFER TO PLAN SHEET A-601, DETAIL 1
- DOOR TYPES - REFER TO PLAN SHEET A-601, DETAIL 2

### Framing Notes

- FRAMING INSTRUCTIONS:**  
 1.1 ALL PERIMETER FRAMED WALLS, 2x6 WD STUDS @ 16" OC, VERIFY HEIGHTS; INSULATED WITH 6"x16" WIDE FRICTION FIT INSULATION, EXCEPT AS DIRECTED BY KEYED NOTES.  
 1.2 FRONT WALL SAME AS ABOVE, EXCEPT 2x6 WD STUDS, SEE STRUCTURAL DRAWINGS FOR FRAMING ELEVATION AND DETAILS.  
 1.3 ALL INTERIOR FRAMED PARTITION WALLS, 2x4 WD STUDS @ 16" OC, VERIFY HEIGHTS; EXCEPT AS DIRECTED BY KEYED NOTES.  
 1.4 ALL FRAMING MATERIAL, CONSTRUCTION GRADE OR BETTER.  
 1.5 USE TREATED (WOLMANIZED) BOTTOM PLATE, WHEREVER MEETS CONCRETE, SEAL TO CONC FLOOR WITH CONSTRUCTION ADHESIVE.  
 1.6 ALL BACKING/BLOCKING 2x6, FLUSH W/ ROUGH FRAMING; HEIGHTS INDICATED ON PLANS (BK @ xx") ARE FROM FLOOR (AFF) CENTER OF BLOCKING.  
 1.7 EXTERIOR NON-COMBUSTIBLE WALL, 2x6, 18 GAGE STEEL STUDS, ENTIRE END WALL, USING STEEL TOP AND BOTTOM PLATES.
- SEAL ALL CABINETS AND SALES COUNTER TO FLOOR.
- DO NOT FRAME UP UTILITY ROOM WALLS UNTIL THE COMPRESSOR RACK HAS BEEN INSTALLED BY H.V.A.C.
- H.V.A.C. EQUIPMENT INSTALLED BY CASEY'S PROVIDED INSTALLERS.
- ALL EXTERIOR WALLS ARE SUPPLIED BY OWNER
- ALL INTERIOR WALLS ARE TO BE SUPPLIED BY CONTRACTOR AND BUILT ON-SITE

### Wall Type Construction

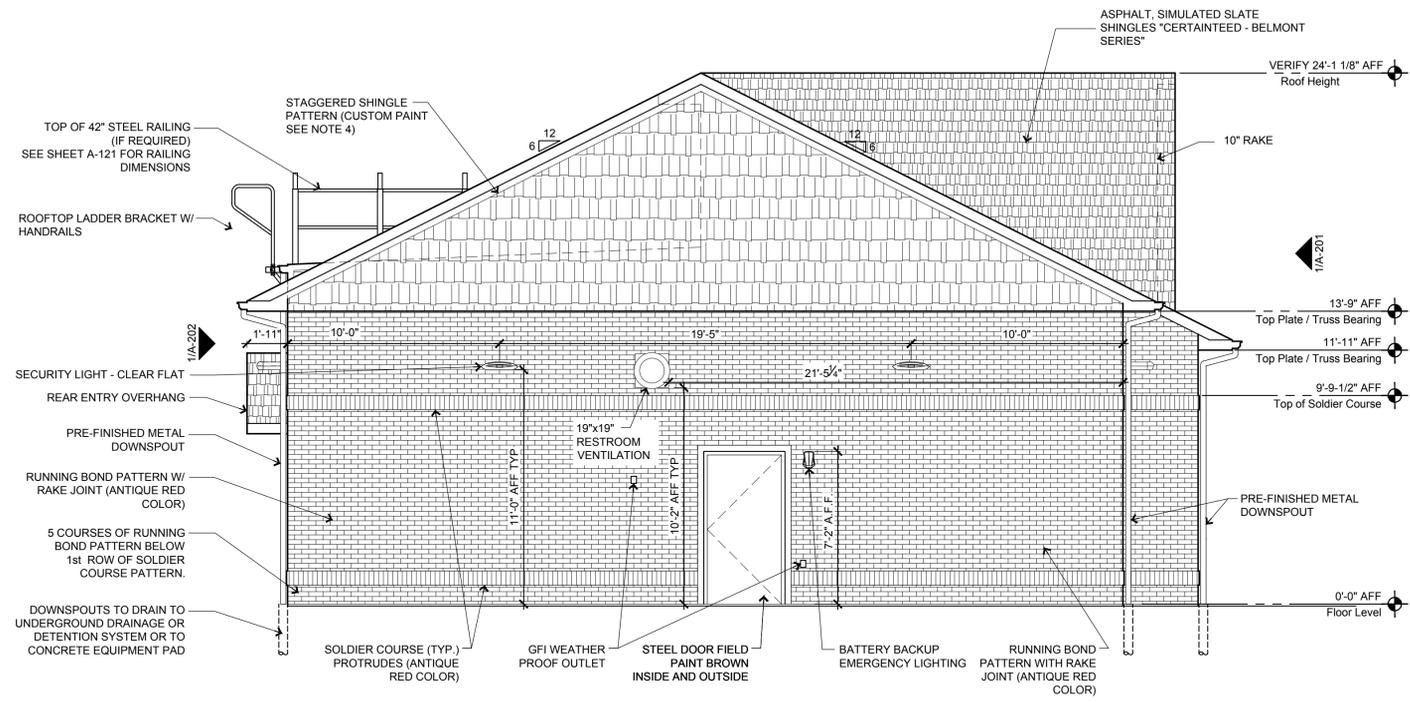
- G** PARTITION WALL (TYP UNO): 3 1/2" WOOD STUDS (NOMINAL 2x4) @ 16" OC WITH TREATED (WOLMANIZED) BOTTOM PLATE ANCHORED TO FLOOR, BRACE TOP TO STRUCTURE ABOVE PER FRAMING NOTES; FACE BOTH SIDES, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH
- G1** PARTITION WALL: 5 1/2" WOOD STUDS (NOMINAL 2x6) @ 16" OC WITH TREATED (WOLMANIZED) BOTTOM PLATE ANCHORED TO FLOOR, BRACE TOP TO STRUCTURE ABOVE PER FRAMING NOTES; FACE BOTH SIDES, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH
- G2** PARTITION WALL: 7 1/4" WOOD STUDS (NOMINAL 2x8) @ 16" OC WITH TREATED (WOLMANIZED) BOTTOM PLATE ANCHORED TO FLOOR, BRACE TOP TO STRUCTURE ABOVE PER FRAMING NOTES; FACE BOTH SIDES, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH
- Gf** FURRED WALL: 5 1/2" WOOD STUDS (NOMINAL 2x6) @ 16" OC WITH TREATED (WOLMANIZED) BOTTOM PLATE ANCHORED TO FLOOR FOR PLUMBING LINES; FACE ONE SIDE, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH
- G3** 2"x6" WOOD FLOOR TYPE TRUSS: BEAM SUPPLIED BY STRUCTURAL COMPONENT SYSTEMS. CONTRACTOR TO SHEET SALES AREA SIDE WITH 3/4" PLYWOOD BEFORE FINISHING. RE: A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL. RE: A-401, DETAIL 4, INTERIOR ELEVATIONS
- G4** NON-BEARING BULKHEAD: 3 1/2" WOOD STUDS (NOMINAL 2x4) @ 16" O.C. BUILT ACROSS OPENINGS FOR GRAPHICS ATTACHMENT. FACE BOTH SIDES, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH.
- G5** 5-1/2" NON-COMBUSTIBLE METAL STUD WALL: FRAMED TO BOTTOM OF TRUSS REFER TO A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL

**CASEY'S**  
GENERAL STORE

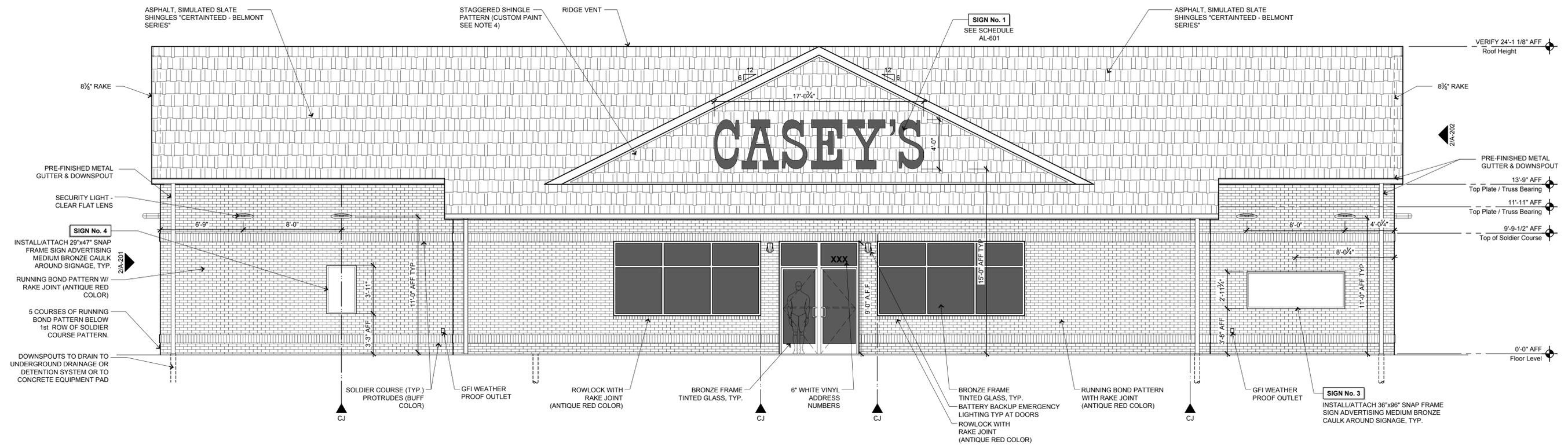
**SCHEMMER**  
Design with Purpose. Build with Confidence.

PROJECT: CASEY'S GENERAL STORE EUDORA, KS 2019 "U3" - STYLE STORE (GABLE ROOF) PROJECT NUMBER: 07164.038 DRAWN BY: DJK	DATE: 06-25-20 REVISIONS:	DRAWING INFORMATION: <b>FLOOR PLAN</b> <b>A-101</b>
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P:\07164038\000 Arch\04\_A-101.dwg  
 8/13/2020 9:03:09 AM Michalek, Megan



Exterior Elevation - Left Side of Building (Plan West) 2  
1/4" = 1' - 0"

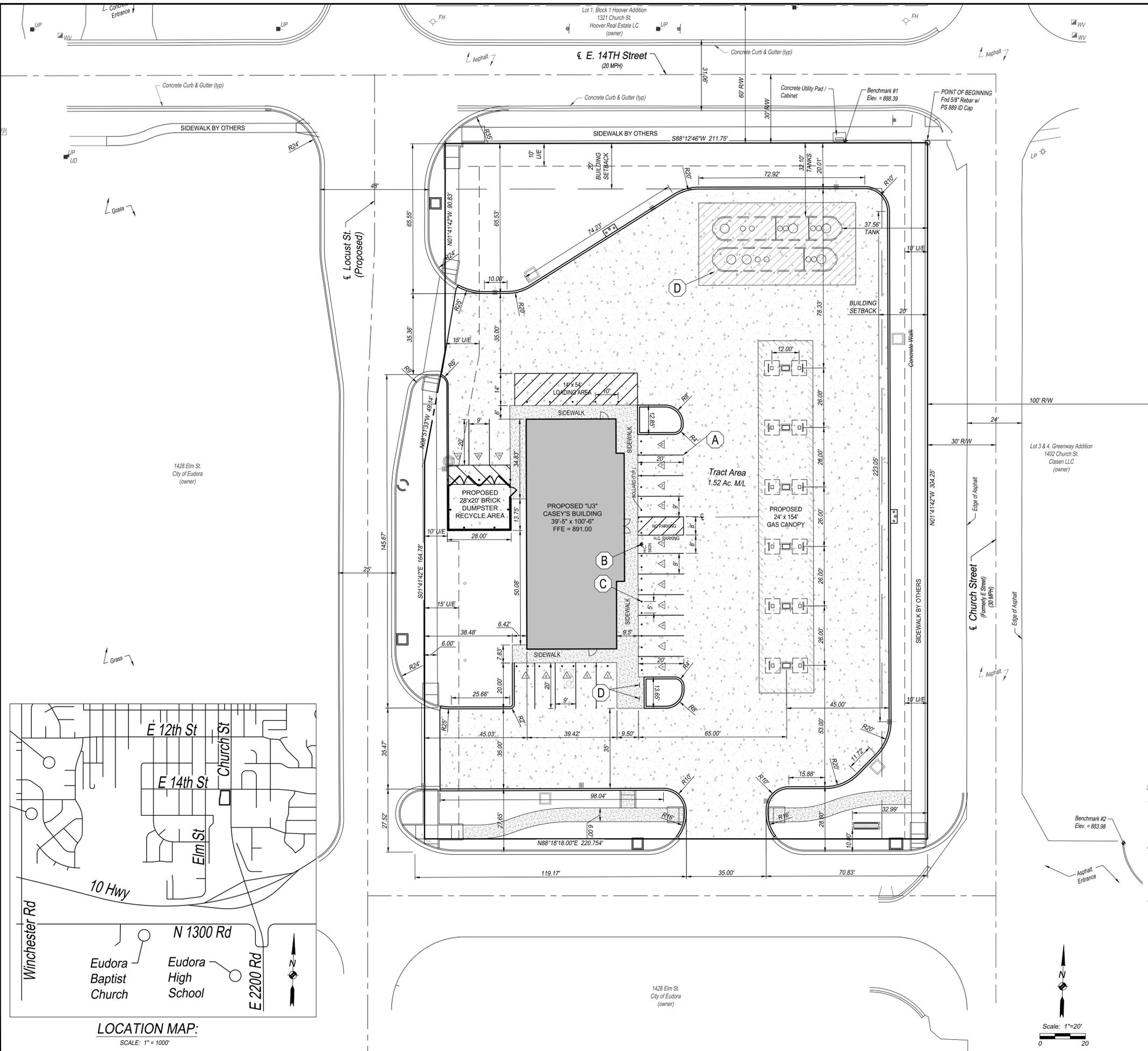


Exterior Elevation - Front of Building (Plan South) 1  
1/4" = 1' - 0"

### General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
- RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:  
AL-101: FOR BUILDING LOCATION ON SITE  
AL-601: FOR INFORMATION RELATING TO SIGNAGE  
A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT  
A-121: ROOF PLAN/ROOF TOP EQUIPMENT LAYOUT  
A-601: DOOR & WINDOW SCHEDULES AND NOTES  
S-101: FOOTINGS AND FOUNDATIONS  
S-102: ROOF TRUSSES
- WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
- HARDIE SIDING & TRIM PAINT FORMULA:** SHERWIN WILLIAMS / SATIN FINISH  
COLOR: CUSTOM ARNING CIN ETT TAN  
BAC Blend-a-Color OZ 32 64 128  
B1 Black - - 1 -  
N1 Raw Umber - 23 1 1  
Y3 Deep Gold - 5 1 -
- HARDIE PLANK LAP SIDING (MECHANICAL PLATFORM):**  
EXTERIOR SATIN LATEX SUPER PAINT  
SHERWIN-WILLIAMS - SW 7020 - BLACK FOX
- STAGGERED SHINGLE PAINT FORMULA:**  
SHERWIN-WILLIAMS "CASEY'S RED CUSTOM SHER-COLOR MATCH" (MATCHES ALPOLIC BBR RED)  
EXTERIOR SATIN LATEX - ARCHITECTURAL SUPER PAINT  
1 GALLON MIX - A89T00154  
ULTRADEEP - 640392379  
W1-WHITE OZ 32 64 128  
R2-MAROON - 21 1 -  
R3-MAGENTA 4 20 1 -  
R4-NEW RED 4 44 - -
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

			
PROJECT: CASEY'S GENERAL STORE EUDORA, KS 2019 "U3" - STYLE STORE (GABLE ROOF) PROJECT NUMBER: 07164.038		DATE: 06-25-20 REVISION:	DRAWING INFORMATION: EXTERIOR ELEVATIONS <b>A-201</b>



**GENERAL NOTES:**

1. ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE IN ACCORDANCE WITH THE STANDARD TECHNICAL SPECIFICATIONS AND CURRENT REVISIONS ON FILE IN THE OFFICE OF THE CITY ENGINEER, CITY OF EUDORA, KANSAS.
2. UTILITIES WERE FIELD LOCATED THROUGH KANSAS ONE CALL. THE LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES MAY VARY FROM WHAT IS INDICATED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE UTILITY OWNER TO LOCATE AND FLAG ALL UNDERGROUND UTILITIES WHETHER INDICATED OR NOT. NO EXCAVATION WILL BE PERMITTED IN THE AREA OF UNDERGROUND UTILITIES UNTIL ALL SUCH UTILITIES HAVE BEEN LOCATED AND IDENTIFIED TO THE SATISFACTION OF ALL PARTIES AND THEN ONLY WITH EXTREME CARE TO AVOID ANY POSSIBILITY OF DAMAGE TO THE UTILITY.
3. ALL PERMITS AND FEES NECESSARY TO CONSTRUCT THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
4. UNLESS OTHERWISE SPECIFIED, ALL DISTURBED AREAS THAT ARE NON-HARDSCAPED SHALL BE EITHER LANDSCAPED OR SEEDED AND FERTILIZED.
5. ALL PAVEMENT REMOVAL AREAS SHALL BE SAW CUT TO FORM A STRAIGHT AND UNIFORM LINE.

**SITE PLAN KEY NOTES:**

- (A) PLACE PAVEMENT MARKING, 4" PAINTED, YELLOW, 90° TO SIDEWALK (TYP.) OR CURB.
- (B) INSTALL HANDICAP SIGN IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- (C) INSTALL BOLLARD (TYP.). REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- (D) REFER TO DETAIL ON SHEET C-601 FOR PAVEMENT SECTION ADJACENT TO UNDERGROUND TANKS.
- (E) INSTALL 2 INVERTED "U" BICYCLE RACKS (4 TOTAL BIKE PARKING SPACES). INSTALL PER MANUFACTURER'S RECOMMENDATION.

**LEGEND:**

- 6" CONCRETE PAVEMENT
- 6" CONCRETE SIDEWALK
- 8" CONCRETE PAVEMENT. REFER TO DETAIL ON SHEET C-601 FOR PAVEMENT SECTION ADJACENT TO UNDERGROUND TANKS
- CURB (MONOLITHIC)

**LEGAL DESCRIPTION:**

SURVEYORS SUGGESTED LEGAL: A PART OF LOTS 1 THROUGH 7, INCLUSIVE AND LOTS 14 THROUGH 20, INCLUSIVE, BLOCK 188, A PART OF VACATED LOCUST STREET AND A PART OF THE VACATED ALLEY ADJACENT TO SAID LOTS, ALL IN THE CITY OF EUDORA, DOUGLAS COUNTY, KANSAS, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 20; THENCE S01°41'51"E, 310.00 FEET ALONG THE EAST LINE OF SAID LOTS 14 THROUGH 20; THENCE S88°18'09"W, 225.00 FEET; THENCE N01°41'51"W, 109.58 FEET; THENCE N08°51'33"E, 136.46 FEET; THENCE N01°41'51"W, 65.92 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 1; THENCE N88°12'08"E, 200.00 FEET TO THE POINT OF BEGINNING. CONTAINING 1.52 ACRES MORE OR LESS.

**NOTES:**

1. UTILITIES WERE FIELD LOCATED THROUGH KANSAS ONE CALL TICKET NO. 19472095, DATED OCTOBER 2, 2019 AND THROUGH OBSERVABLE FIELD EVIDENCE. WATER LINE MAP INFORMATION ALSO SHOWN BY INFORMATION PROVIDED BY THE CITY OF EUDORA.
2. ACCORDING TO THE FLOOD INSURANCE RATE MAP "FIRM" COMMUNITY PANEL NUMBER 20045C0211D, EFFECTIVE DATE OF AUGUST 5, 2010, THIS PROPERTY IS IN FLOOD ZONE "X", AREA OF MINIMAL FLOOD HAZARD.

**BENCHMARKS:**

THE BASIS OF THE BEARING SYSTEM FOR THIS SURVEY IS ON ASSUMED DATUM.

VERTICAL CONTROL DATUM:

BENCHMARK 1, CHISELED SQUARE CUT AT THE SOUTHEAST EDGE OF CONCRETE UTILITY PAD / CABINET, LOCATED ON THE SOUTH SIDE OF E 14TH STREET 36.1' NORTHWEST OF THE NORTHEAST CORNER OF SUBJECT TRACT BOUNDARY. ELEVATION = 888.39, NAVD 88 DATUM

BENCHMARK 2, CHISELED SQUARE CUT ON TOP OF CONCRETE CURB, LOCATED ON THE EAST SIDE OF CHURCH STREET 86.1' NORTHEAST OF THE SOUTHEAST CORNER OF SUBJECT TRACT BOUNDARY. ELEVATION = 883.98, NAVD 88 DATUM.

BENCHMARK 3, CHISELED SQUARE CUT AT THE NORTHWEST EDGE OF CONCRETE FIELD INLET, LOCATED ON THE EAST SIDE OF CHURCH STREET 361.0' SOUTHEAST OF THE SOUTHEAST CORNER OF SUBJECT TRACT BOUNDARY. ELEVATION = 882.02, NAVD 88 DATUM.

**PROJECT DATA:**

TOTAL AREA OF LOT = 1.52 ACRES. ZONING = "RS" RESIDENTIAL SINGLE-FAMILY DISTRICT

STRUCTURE DATA: SINGLE-STORY BUILDING  
GROSS SQUARE FOOTAGE = 4,160 S.F.

**PROJECT CONTACT INFORMATION:**

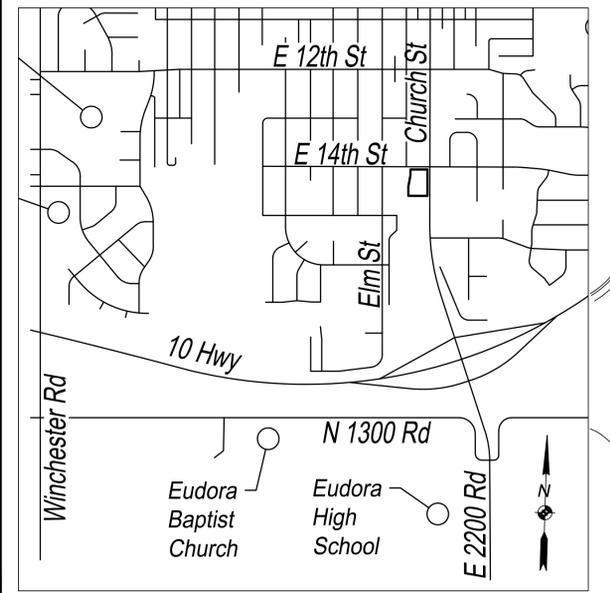
**OWNER:** CITY OF EUDORA  
CITY MANAGER  
CITY OF EUDORA, KS  
ATTN: BARACK MATTHE, bmatthe@cityofeudora.org  
PHONE: 785-690-7224

**APPLICANT:** CASEY'S RETAIL COMPANY  
ONE SE CONVENIENCE BLVD  
ANKENY, IA 50021  
ATTN: JAMES VILMAIN, email: james.vilmain@caseys.com  
PHONE: 515-446-6402

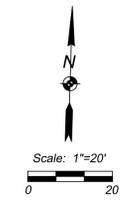
**ENGINEER:** SBB ENGINEERING, LLC  
101 SOUTH KANSAS AVENUE  
TOPEKA, KS 66603  
ATTN: JEFF LAUBACH, PE  
email: jeff.laubach@sbbeng.com  
PHONE: 785-215-8630

**LANDSCAPE ARCHITECT:** GARRETT OCHS, RLA  
533 LAKE FOREST  
BONNER SPRINGS, KS 66012  
email: garrettochs@gmail.com  
PHONE: 913-961-6578

**ARCHITECT:** SCHEMMER  
1044 NORTH 115TH STREET, SUITE 300  
OMAHA, NE 68154  
ATTN: DAN KERNS, AIA email: dkerns@schemmer.com  
PHONE: 402-493-4800



**LOCATION MAP:**  
SCALE: 1" = 1000'



SBB Proj. No. 19-222

<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: EUDORA, KS "U3 STORE" DRAWING INFORMATION: WEST 14th St. & CHURCH ST.	DRAWING INFORMATION: SITE PLAN DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: JWJ CHECKED BY: JWJ
<b>SBB ENGINEERING</b> 101 S. Kansas Ave. Topeka, KS 66603 Ph: 785.215.8630	



FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



BACK ELEVATION

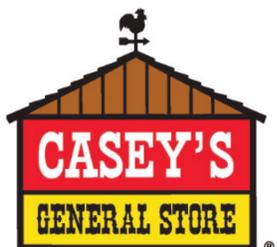


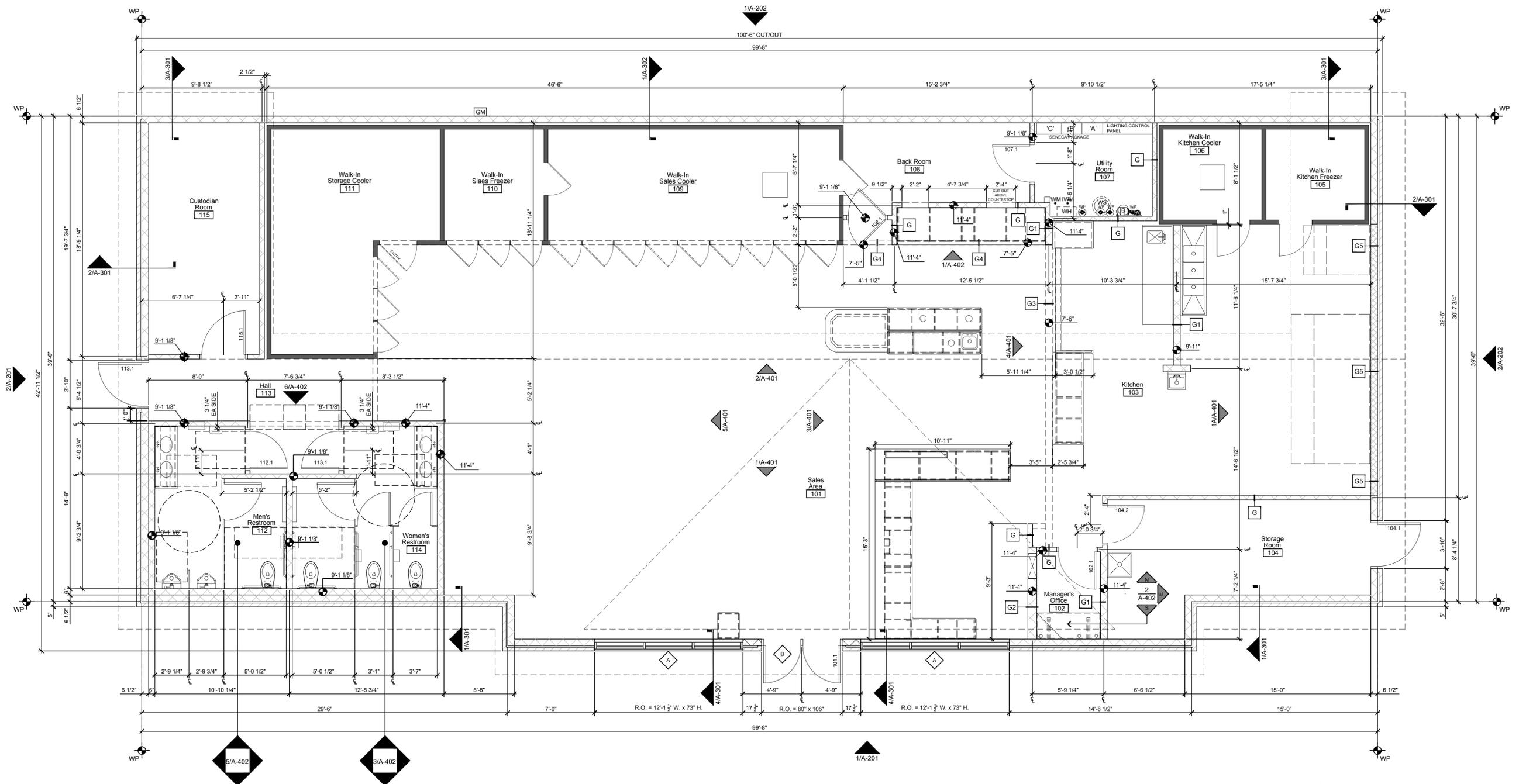
RIGHT ELEVATION

**SCH<sub>EM</sub>MER**

*Design with Purpose. Build with Confidence.*

**EUDORA, KS**





Architectural Floor Plan  
1/4" = 1' - 0"

### General Notes

1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. **RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:  
 A-100: WALL BLOCKING PLAN AND NOTES  
 A-601: DOOR, WINDOW & FINISH SCHEDULES AND NOTES  
 A-701: FLOOR FINISH PLAN  
 AQ-101: EQUIPMENT AND FIXTURE INSTALLATION PLAN AND SCHEDULE  
 S-101: FOOTINGS AND FOUNDATIONS PLAN  
 S-102: FIRST FLOOR BEARING WALL AND SHEAR WALL FRAMING  
 P-101: COORDINATE WITH UNDER SLAB SANITARY WORK  
 P-102: COORDINATE WITH UNDER SLAB PLUMBING WORK
3. **WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. INDICATES WALL AND HEADER HEIGHTS
5. KNEE WALL ABOVE COOLER / FREEZER TO BE INSTALLED 2" BACK FROM FRONT FACE OF COOLER / FREEZER.
6. WINDOW FRAME ELEVATIONS - REFER TO PLAN SHEET A-601, DETAIL 1
7. DOOR TYPES - REFER TO PLAN SHEET A-601, DETAIL 2

### Framing Notes

1. **FRAMING INSTRUCTIONS:**  
 1.1 ALL PERIMETER FRAMED WALLS, 2x6 WD STUDS @ 16" OC, VERIFY HEIGHTS; INSULATED WITH 6"x16" WIDE FRICTION FIT INSULATION, EXCEPT AS DIRECTED BY KEYED NOTES.  
 1.2 FRONT WALL SAME AS ABOVE, EXCEPT 2x6 WD STUDS, SEE STRUCTURAL DRAWINGS FOR FRAMING ELEVATION AND DETAILS.  
 1.3 ALL INTERIOR FRAMED PARTITION WALLS, 2x4 WD STUDS @ 16" OC, VERIFY HEIGHTS; EXCEPT AS DIRECTED BY KEYED NOTES.  
 1.4 ALL FRAMING MATERIAL, CONSTRUCTION GRADE OR BETTER.  
 1.5 USE TREATED (WOLMANIZED) BOTTOM PLATE, WHEREVER MEETS CONCRETE, SEAL TO CONC FLOOR WITH CONSTRUCTION ADHESIVE.  
 1.6 ALL BACKING/BLOCKING 2x6, FLUSH W/ ROUGH FRAMING; HEIGHTS INDICATED ON PLANS (BK @ xx") ARE FROM FLOOR (AFF) CENTER OF BLOCKING.  
 1.7 EXTERIOR NON-COMBUSTIBLE WALL, 2x6, 18 GAGE STEEL STUDS, ENTIRE END WALL, USING STEEL TOP AND BOTTOM PLATES.
2. SEAL ALL CABINETS AND SALES COUNTER TO FLOOR.
3. DO NOT FRAME UP UTILITY ROOM WALLS UNTIL THE COMPRESSOR RACK HAS BEEN INSTALLED BY H.V.A.C.
4. H.V.A.C. EQUIPMENT INSTALLED BY CASEY'S PROVIDED INSTALLERS.
5. ALL EXTERIOR WALLS ARE SUPPLIED BY OWNER
6. ALL INTERIOR WALLS ARE TO BE SUPPLIED BY CONTRACTOR AND BUILT ON-SITE

### Wall Type Construction

- G PARTITION WALL (TYP UNO): 3 1/2" WOOD STUDS (NOMINAL 2x4) @ 16" OC WITH TREATED (WOLMANIZED) BOTTOM PLATE ANCHORED TO FLOOR, BRACE TOP TO STRUCTURE ABOVE PER FRAMING NOTES; FACE BOTH SIDES, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH
- G1 PARTITION WALL: 5 1/2" WOOD STUDS (NOMINAL 2x6) @ 16" OC WITH TREATED (WOLMANIZED) BOTTOM PLATE ANCHORED TO FLOOR, BRACE TOP TO STRUCTURE ABOVE PER FRAMING NOTES; FACE BOTH SIDES, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH
- G2 PARTITION WALL: 7 1/4" WOOD STUDS (NOMINAL 2x8) @ 16" OC WITH TREATED (WOLMANIZED) BOTTOM PLATE ANCHORED TO FLOOR, BRACE TOP TO STRUCTURE ABOVE PER FRAMING NOTES; FACE BOTH SIDES, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH
- Gf FURRED WALL: 5 1/2" WOOD STUDS (NOMINAL 2x6) @ 16" OC WITH TREATED (WOLMANIZED) IN LOCATIONS INDICATED ON PLAN FOR PLUMBING LINES; FACE ONE SIDE, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH
- G3 2"x6" WOOD FLOOR TYPE TRUSS: BEAM SUPPLIED BY STRUCTURAL COMPONENT SYSTEMS. CONTRACTOR TO SHEET SALES AREA SIDE WITH 3/4" PLYWOOD BEFORE FINISHING. RE: A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL. RE: A-401, DETAIL 4, INTERIOR ELEVATIONS
- G4 NON-BEARING BULKHEAD: 3 1/2" WOOD STUDS (NOMINAL 2x4) @ 16" O.C. BUILT ACROSS OPENINGS FOR GRAPHICS ATTACHMENT. FACE BOTH SIDES, REFER TO FINISH SCHEDULE (A-601) FOR FACE MATERIAL AND FINISH.
- G5 5-1/2" NON-COMBUSTIBLE METAL STUD WALL: FRAMED TO BOTTOM OF TRUSS REFER TO A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL

**CASEY'S**  
GENERAL STORE

**SCHEMMER**  
Design with Purpose. Build with Confidence.

PROJECT: CASEY'S GENERAL STORE EUDORA, KS 2019 "U3" - STYLE STORE (GABLE ROOF) PROJECT NUMBER: 07164.038 DRAWN BY: DJK	DATE: 06-25-20 REVISIONS:	DRAWING INFORMATION: FLOOR PLAN <b>A-101</b>
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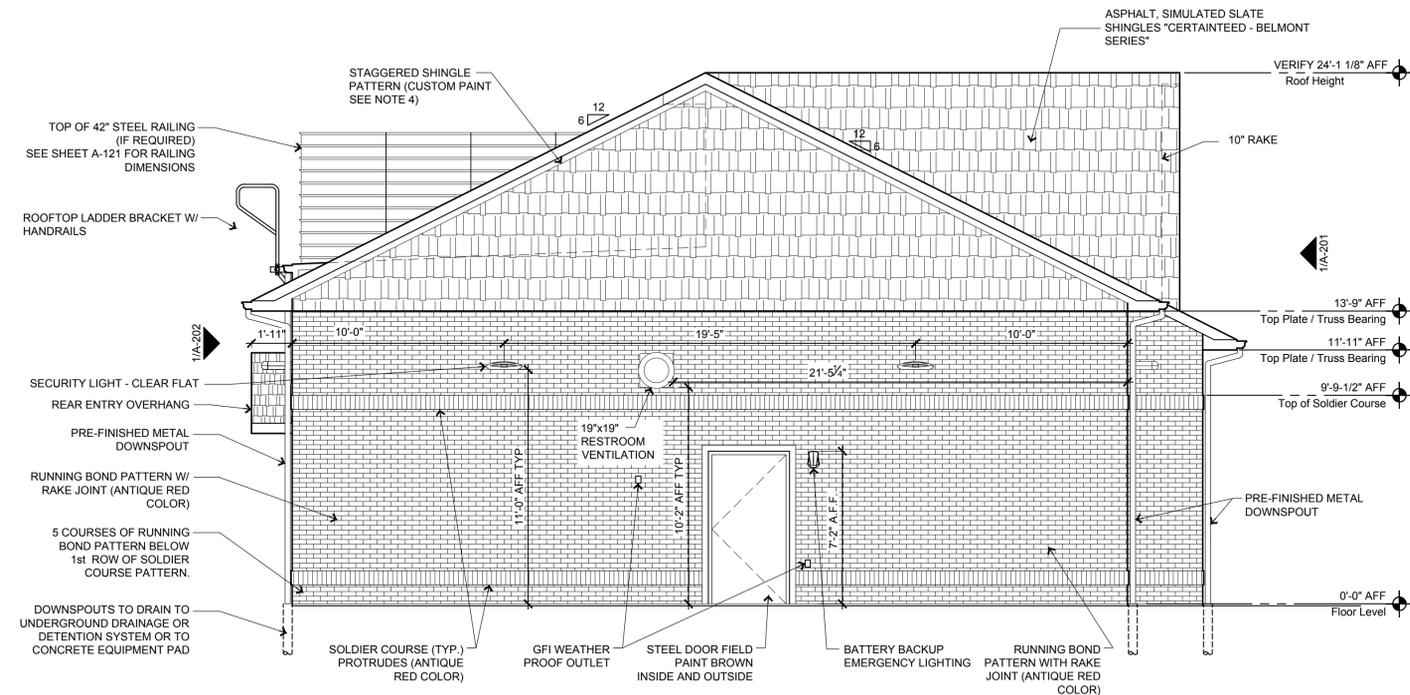
# General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
- RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:  
 AL-101: FOR BUILDING LOCATION ON SITE  
 AL-601: FOR INFORMATION RELATING TO SIGNAGE  
 A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT  
 A-121: ROOF PLAN/ROOF TOP EQUIPMENT LAYOUT  
 A-601: DOOR & WINDOW SCHEDULES AND NOTES  
 S-101: FOOTINGS AND FOUNDATIONS  
 S-102: ROOF TRUSSES
- WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
- HARDIE SIDING & TRIM PAINT FORMULA:** SHERWIN WILLIAMS / SATIN FINISH  
 COLOR: CUSTOM ARNING CIN ETT TAN  

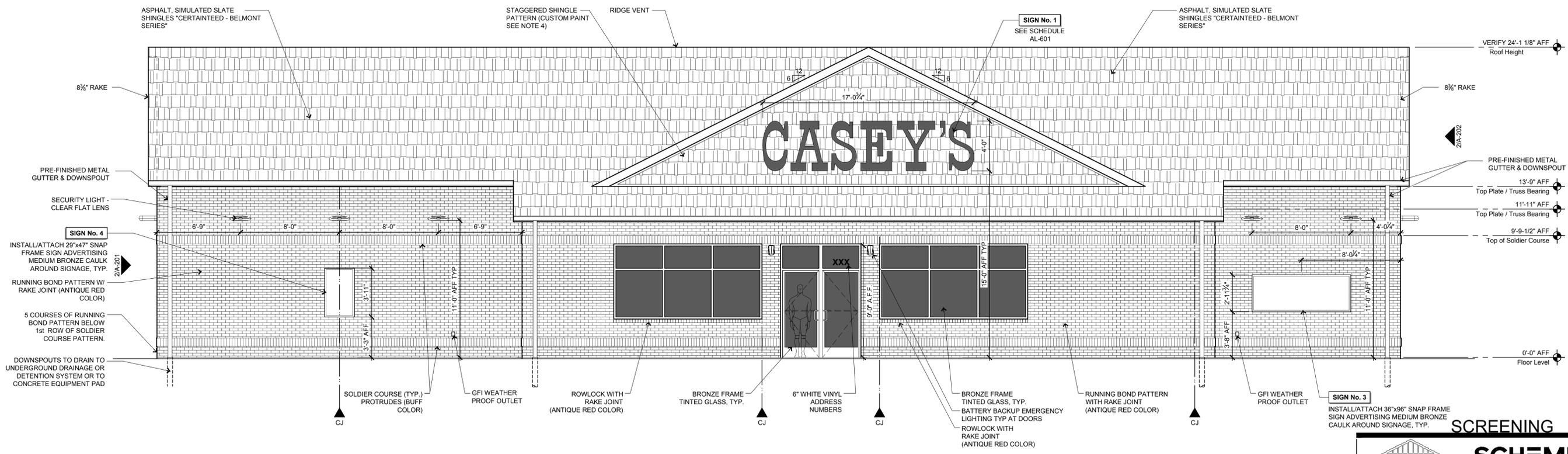
BAC Blend-a-Color	OZ	32	64	128
B1 Black	-	-	-	-
N1 Raw Umber	-	23	1	1
Y3 Deep Gold	-	5	1	-

**HARDIE PLANK LAP SIDING (MECHANICAL PLATFORM):**  
 EXTERIOR SATIN LATEX SUPER PAINT  
 SHERWIN-WILLIAMS - SW 7020 - BLACK FOX  
**STAGGERED SHINGLE PAINT FORMULA:**  
 SHERWIN-WILLIAMS "CASEY'S RED CUSTOM SHER-COLOR MATCH" (MATCHES ALPOLIC BBR RED)  
 EXTERIOR SATIN LATEX - ARCHITECTURAL SUPER PAINT  
 1 GALLON MIX - A89T00154  
 ULTRADEEP - 640392379  

W1-WHITE	OZ	32	64	128
R2-MAROON	-	41	-	1
R3-MAGENTA	4	20	1	-
R4-NEW RED	4	44	-	-
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.



Exterior Elevation - Left Side of Building (Plan West) **2**  
 1/4" = 1' - 0"



Exterior Elevation - Front of Building (Plan South) **1**  
 1/4" = 1' - 0"

**SCREENING**

**CASEY'S**  
 SHERWIN-WILLIAMS  
 SIGNAGE SYSTEM

**SCHEMMER**  
 Design with Purpose. Build with Confidence.

PROJECT: CASEY'S GENERAL STORE	DATE: 06-25-20	DRAWING INFORMATION: EXTERIOR ELEVATIONS
LOCATION: EUDORA, KS 2019 U3* - STYLE STORE (GABLE ROOF)	REVISIONS:	
PROJECT NUMBER: 07164.038	CHECKED BY:	
DRAWN BY:		<b>A-201</b>

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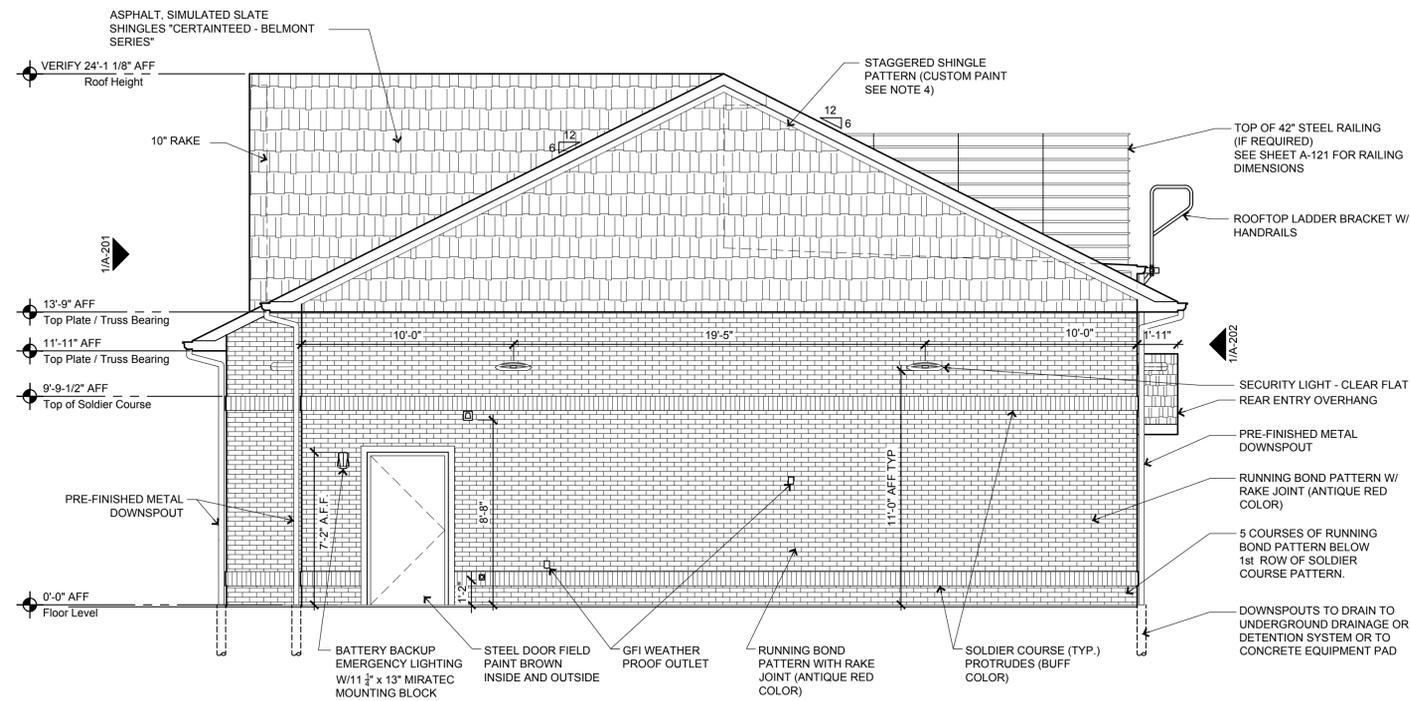
# General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
- RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:  
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 A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT  
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 A-601: DOOR & WINDOW SCHEDULES AND NOTES  
 S-101: FOOTINGS AND FOUNDATIONS  
 S-102: ROOF TRUSSES
- WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
- HARDIE SIDING & TRIM PAINT FORMULA:** SHERWIN WILLIAMS / SATIN FINISH  
 COLOR: CUSTOM ARNING CIN ETT TAN  

BAC Blend-a-Color	OZ	32	64	128
B1 Black	-	-	1	-
N1 Raw Umber	-	23	1	1
Y3 Deep Gold	-	5	1	-

  
**HARDIE PLANK LAP SIDING (MECHANICAL PLATFORM):**  
 EXTERIOR SATIN LATEX SUPER PAINT  
 SHERWIN-WILLIAMS - SW 7020 - BLACK FOX  
  
**STAGGERED SHINGLE PAINT FORMULA:**  
 SHERWIN-WILLIAMS "CASEY'S RED CUSTOM SHER-COLOR MATCH"  
 (MATCHES ALPOLIC BBR RED)  
 EXTERIOR SATIN LATEX - ARCHITECTURAL SUPER PAINT  
 1 GALLON MIX - A89T00154  
 ULTRADEEP - 640392379  

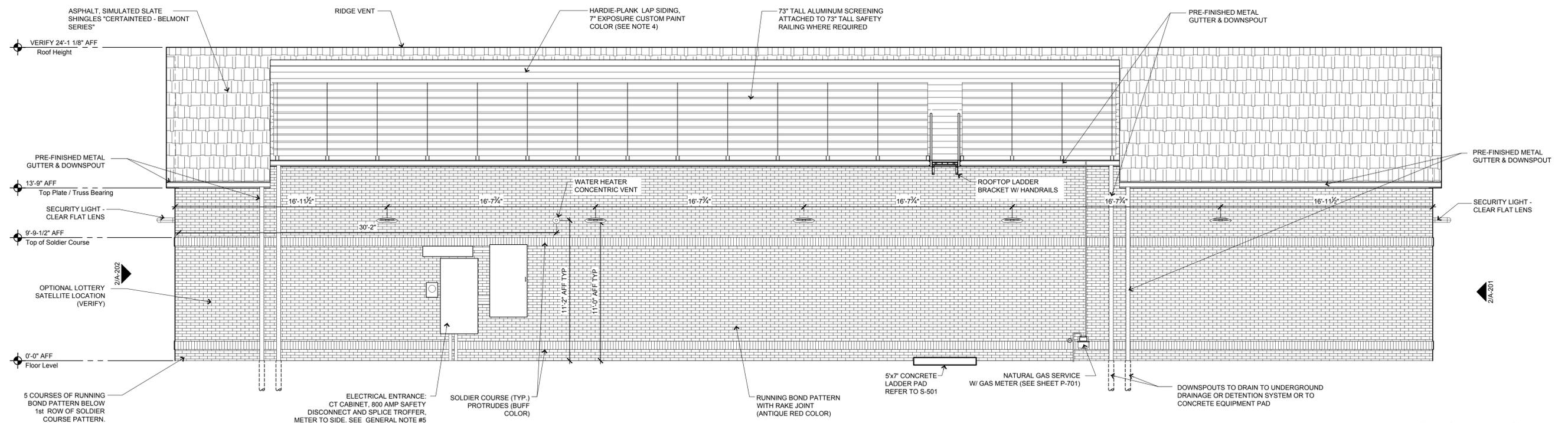
W1-WHITE	OZ	32	64	128
R2-MAROON	-	41	-	1
R3-MAGENTA	4	20	1	-
R4-NEW RED	4	44	-	-
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.



Exterior Elevation - Right Side of Building (Plan East)

2

1/4" = 1' - 0"



Exterior Elevation - Back of Building (Plan North)

1

1/4" = 1' - 0"

## SCREENING

			
<small>Design with Purpose. Build with Confidence.</small>			
PROJECT:	CASEY'S GENERAL STORE	DATE:	06-25-20
LOCATION:	EUDORA, KS	REVISION:	
PROJECT NUMBER:	2019 "U3" - STYLE STORE (GABLE ROOF)	EXTERIOR ELEVATIONS	
PROJECT NUMBER:	07164.038	A-202	
DESIGNED BY:		CHECKED BY:	

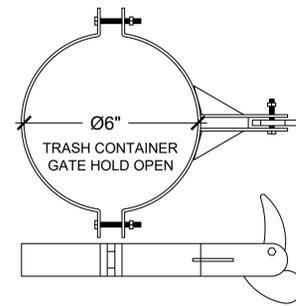
# General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:

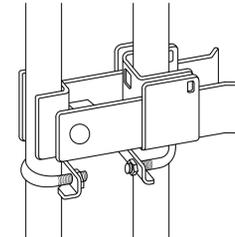
G-001 FOR GENERAL PROJECT NOTES  
AL101 FOR GENERAL SITE PLAN

# Construction Notes

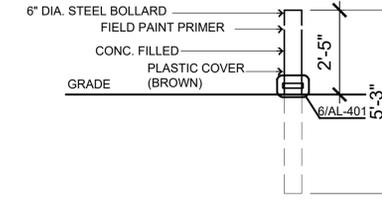
- 1) ALL DOMES ON FENCE POSTS ARE TO BE FASTENED SO THAT THEY CAN NOT BE REMOVED.
- 2) VERIFY SCREENING WITH LOCAL AUTHORITY.
- 3) CONTRACTOR TO PRIME ALL 6" BOLLARDS PRIOR TO FINISHED PAINT COAT.
- 4) DUMPSTER ENCLOSURE WALLS WILL BE 4" BLOCK PURCHASED BY CONTRACTOR



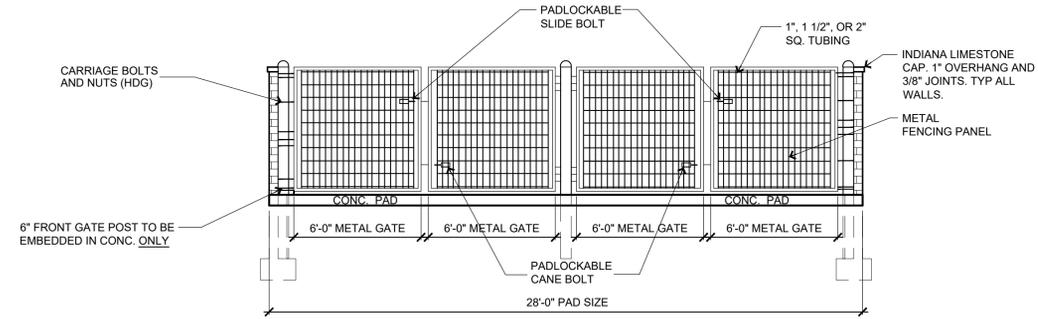
6 Gate Open Holder  
No Scale



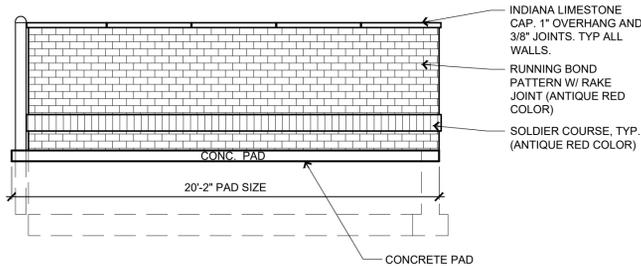
7 Commercial Double Gate Latch Detail  
No Scale



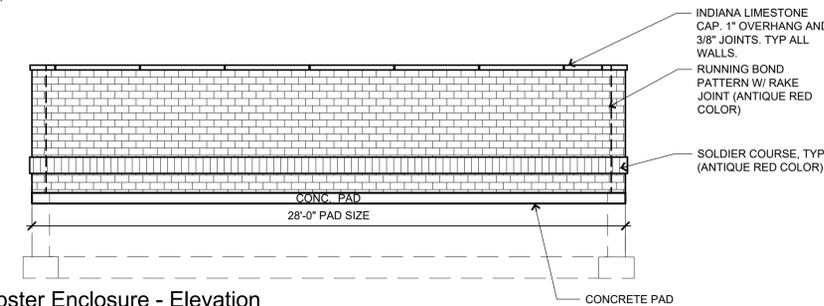
8 Bollard Detail  
No Scale



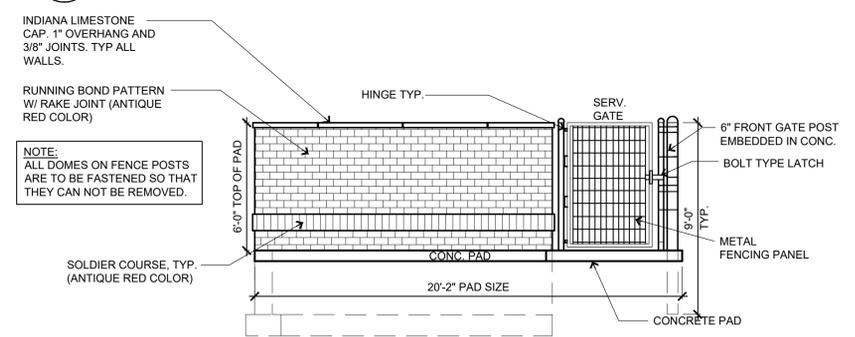
5 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



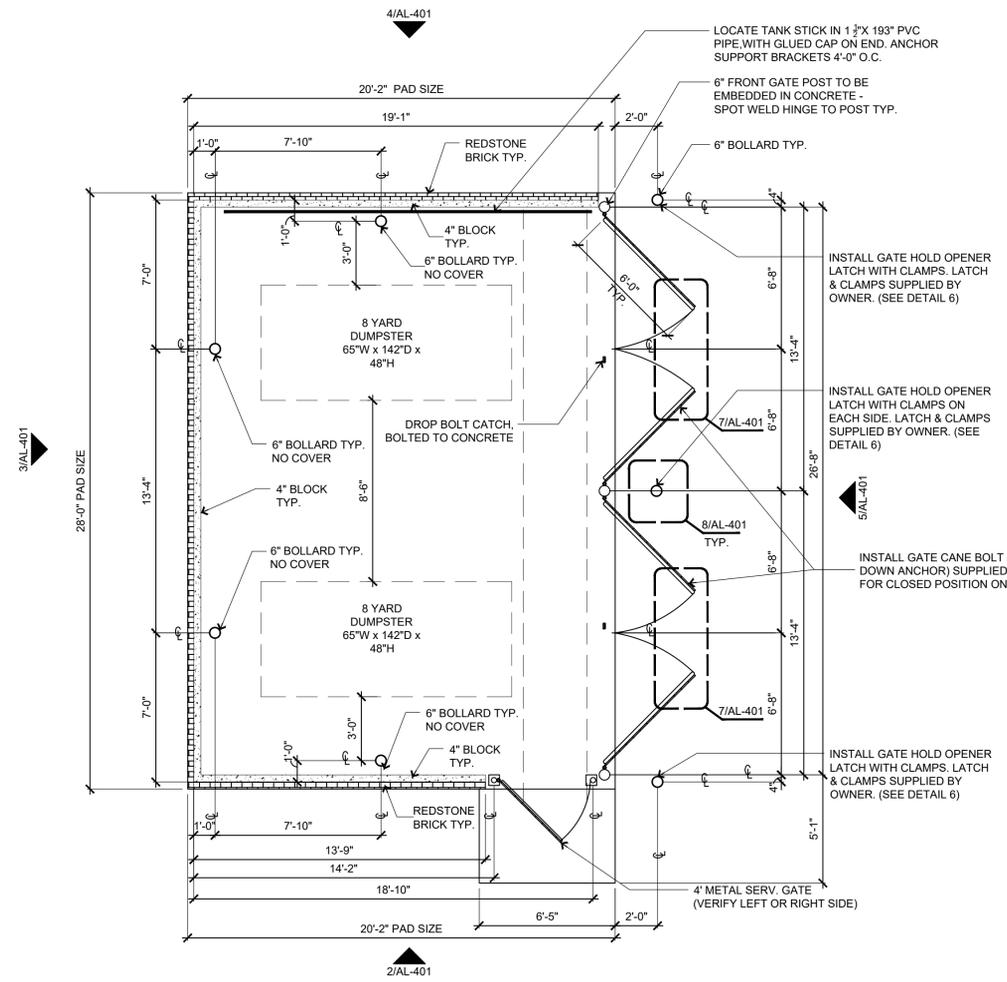
4 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



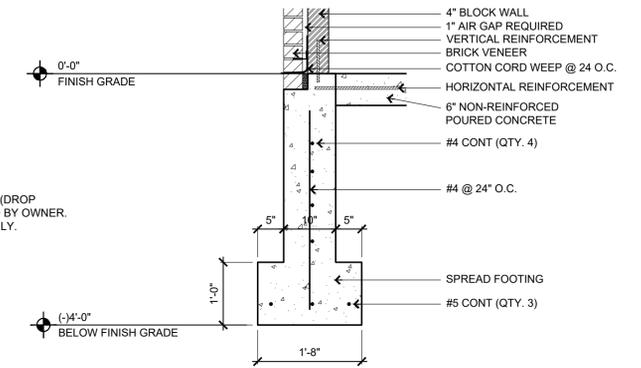
3 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



2 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



1 Dumpster Plan  
1/4" = 1'-0"

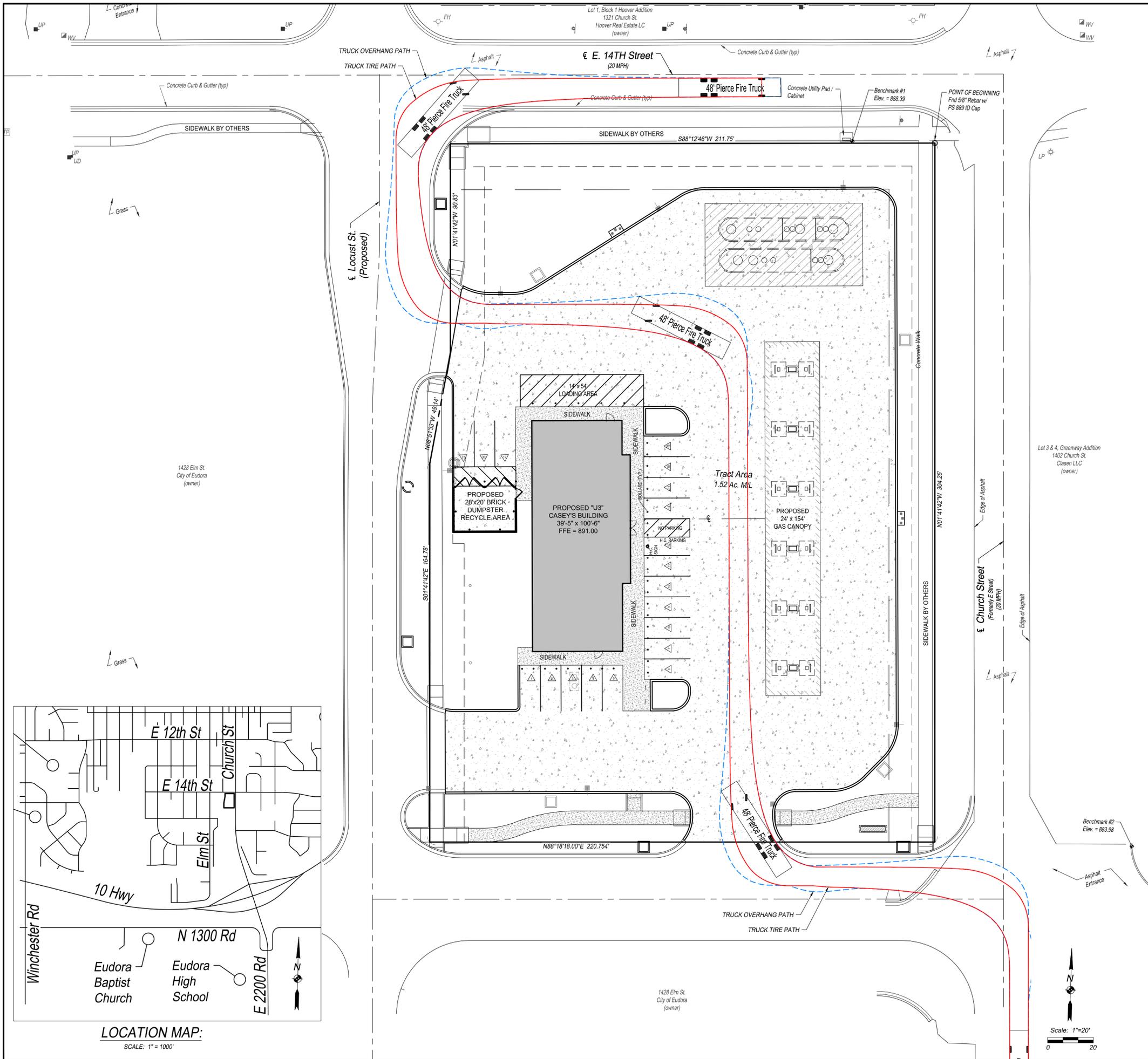


9 Spread Footing Detail  
No Scale

# Brick Enclosure w/Metal Gates

PROJECT: CASEY'S GENERAL STORE EUDORA, KS 2019 "U3" - STYLE STORE (GABLE ROOF) PROJECT NUMBER: 07164.038 DRAWN BY:	FILED: 01-09-2020 RETIRED ON:	DRAWING INFORMATION: DUMPSTER ENCLOSURE	AL-401

S:\Schemmer\Java\Projects\07164038\AL-401.dwg  
 6/25/2020 10:54:00 AM Kolkorn, Rebecca



**GENERAL NOTES:**

- ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE IN ACCORDANCE WITH THE STANDARD TECHNICAL SPECIFICATIONS AND CURRENT REVISIONS ON FILE IN THE OFFICE OF THE CITY ENGINEER, CITY OF EUDORA, KANSAS.
- UTILITIES WERE FIELD LOCATED THROUGH KANSAS ONE CALL. THE LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES MAY VARY FROM WHAT IS INDICATED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE UTILITY OWNER TO LOCATE AND FLAG ALL UNDERGROUND UTILITIES WHETHER INDICATED OR NOT. NO EXCAVATION WILL BE PERMITTED IN THE AREA OF UNDERGROUND UTILITIES UNTIL ALL SUCH UTILITIES HAVE BEEN LOCATED AND IDENTIFIED TO THE SATISFACTION OF ALL PARTIES AND THEN ONLY WITH EXTREME CARE TO AVOID ANY POSSIBILITY OF DAMAGE TO THE UTILITY.
- ALL PERMITS AND FEES NECESSARY TO CONSTRUCT THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SPECIFIED, ALL DISTURBED AREAS THAT ARE NON-HARDSCAPED SHALL BE EITHER LANDSCAPED OR SEEDED AND FERTILIZED.
- ALL PAVEMENT REMOVAL AREAS SHALL BE SAW CUT TO FORM A STRAIGHT AND UNIFORM LINE.

**SITE PLAN KEY NOTES:**

- (A) PLACE PAVEMENT MARKING, 4" PAINTED, YELLOW, 90° TO SIDEWALK (TYP.) OR CURB.
- (B) INSTALL HANDICAP SIGN IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- (C) INSTALL BOLLARD (TYP.). REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- (D) REFER TO DETAIL ON SHEET C-601 FOR PAVEMENT SECTION ADJACENT TO UNDERGROUND TANKS.
- (E) INSTALL 2 INVERTED "U" BICYCLE RACKS (4 TOTAL BIKE PARKING SPACES). INSTALL PER MANUFACTURER'S RECOMMENDATION.

**LEGEND:**

- 6" CONCRETE PAVEMENT
- 6" CONCRETE SIDEWALK
- 8" CONCRETE PAVEMENT. REFER TO DETAIL ON SHEET C-601 FOR PAVEMENT SECTION ADJACENT TO UNDERGROUND TANKS
- CURB (MONOLITHIC)

**LEGAL DESCRIPTION:**

SURVEYORS SUGGESTED LEGAL: A PART OF LOTS 1 THROUGH 7, INCLUSIVE AND LOTS 14 THROUGH 20, INCLUSIVE, BLOCK 188, A PART OF VACATED LOCUST STREET AND A PART OF THE VACATED ALLEY ADJACENT TO SAID LOTS, ALL IN THE CITY OF EUDORA, DOUGLAS COUNTY, KANSAS, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 20; THENCE S01°41'51"E, 310.00 FEET ALONG THE EAST LINE OF SAID LOTS 14 THROUGH 20; THENCE S88°18'09"W, 225.00 FEET; THENCE N01°41'51"W, 109.58 FEET; THENCE N08°51'33"E, 136.46 FEET; THENCE N01°41'51"W, 65.92 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 1; THENCE N88°12'08"E, 200.00 FEET TO THE POINT OF BEGINNING, CONTAINING 1.52 ACRES MORE OR LESS.

**NOTES:**

- UTILITIES WERE FIELD LOCATED THROUGH KANSAS ONE CALL TICKET NO. 19472095, DATED OCTOBER 2, 2019 AND THROUGH OBSERVABLE FIELD EVIDENCE. WATER LINE MAP INFORMATION ALSO SHOWN BY INFORMATION PROVIDED BY THE CITY OF EUDORA.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP "FIRM" COMMUNITY PANEL NUMBER 20045C0211D, EFFECTIVE DATE OF AUGUST 5, 2010, THIS PROPERTY IS IN FLOOD ZONE "X", AREA OF MINIMAL FLOOD HAZARD.

**BENCHMARKS:**

THE BASIS OF THE BEARING SYSTEM FOR THIS SURVEY IS ON ASSUMED DATUM.

VERTICAL CONTROL DATUM:

BENCHMARK 1, CHISELED SQUARE CUT AT THE SOUTHEAST EDGE OF CONCRETE UTILITY PAD / CABINET, LOCATED ON THE SOUTH SIDE OF E 14TH STREET 36.1' NORTHWEST OF THE NORTHEAST CORNER OF SUBJECT TRACT BOUNDARY. ELEVATION = 888.39, NAVD 88 DATUM

BENCHMARK 2, CHISELED SQUARE CUT ON TOP OF CONCRETE CURB, LOCATED ON THE EAST SIDE OF CHURCH STREET 88.1' NORTHEAST OF THE SOUTHEAST CORNER OF SUBJECT TRACT BOUNDARY. ELEVATION = 883.98, NAVD 88 DATUM.

BENCHMARK 3, CHISELED SQUARE CUT AT THE NORTHWEST EDGE OF CONCRETE FIELD INLET, LOCATED ON THE EAST SIDE OF CHURCH STREET 361.0' SOUTHEAST OF THE SOUTHEAST CORNER OF SUBJECT TRACT BOUNDARY. ELEVATION = 882.02, NAVD 88 DATUM.

**PROJECT DATA:**

TOTAL AREA OF LOT = 1.52 ACRES. ZONING = "RS" RESIDENTIAL SINGLE-FAMILY DISTRICT

STRUCTURE DATA: SINGLE-STORY BUILDING  
GROSS SQUARE FOOTAGE = 4,160 S.F.

**PROJECT CONTACT INFORMATION:**

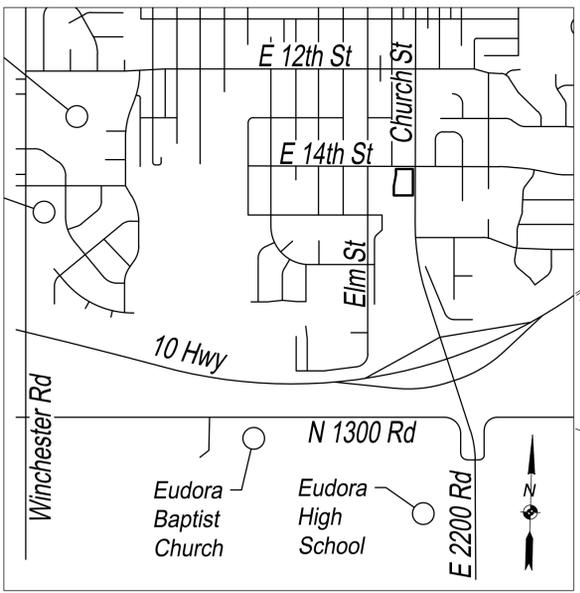
**OWNER:** CITY OF EUDORA  
CITY MANAGER  
CITY OF EUDORA, KS  
ATTN: BARACK MATTIE, bmattie@cityofeudora.org  
PHONE: 785-690-7224

**APPLICANT:** CASEY'S RETAIL COMPANY  
ONE SE CONVENIENCE BLVD  
ANKENY, IA 50021  
ATTN: JAMES VILMAIN, email: james.vilmain@caseys.com  
PHONE: 515-446-6402

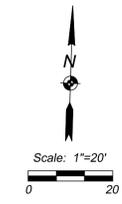
**ENGINEER:** SBB ENGINEERING, LLC  
101 SOUTH KANSAS AVENUE  
TOPEKA, KS 66603  
ATTN: JEFF LAUBACH, PE  
email: jeff.laubach@sbbeng.com  
PHONE: 785-215-8630

**LANDSCAPE ARCHITECT:** GARRETT OCHS, RLA  
533 LAKE FOREST  
BONNER SPRINGS, KS 66012  
email: garrettochs@gmail.com  
PHONE: 913-961-6578

**ARCHITECT:** SCHEMMER  
1044 NORTH 115TH STREET, SUITE 300  
OMAHA, NE 68154  
ATTN: DAN KERNS, AIA email: dkerns@schemmer.com  
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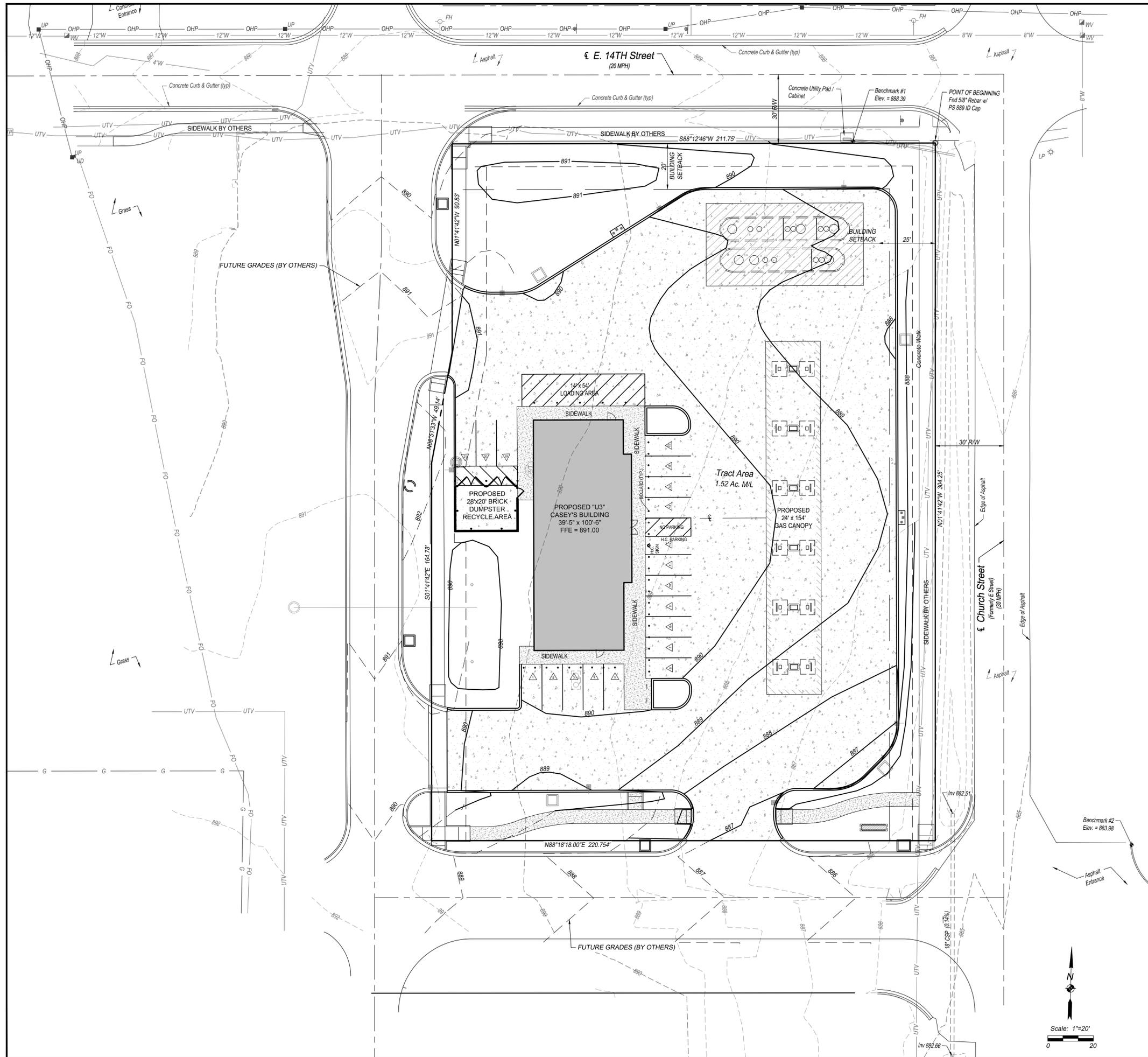


**LOCATION MAP:**  
SCALE: 1" = 1000'



SBB Proj. No. 19-222

<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: EUDORA, KS "U3 STORE" WEST 14th St. & CHURCH St.	DRAWING INFORMATION: PUBLISHED: 07/06/20 REVISION: _____ DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: JWJ CHECKED BY: JWJ
<b>SBB ENGINEERING</b> 101 S. Kansas Ave. Topeka, KS 66603 Ph: 785.215.8630	
<b>FIRE TRUCK TURNING MOVEMENTS</b> <span style="font-size: 2em; font-weight: bold;">C-101A</span>	



**SITE GRADING GENERAL NOTES:**

1. **CLEARING AND GRUBBING:** PRIOR TO BEGINNING PREPARATION OF SUBGRADE, ALL AREAS UNDER PAVEMENTS OR BUILDING SHALL BE STRIPPED OF ALL TOPSOIL, VEGETATION, LARGE ROCK FRAGMENTS (GREATER THAN 6 INCHES IN ANY DIMENSION) AND ANY OTHER DELETERIOUS MATERIAL. THE ACTUAL STRIPPING DEPTH SHOULD BE BASED ON VISUAL EXAMINATION DURING CONSTRUCTION AND THE RESULTS OF PROOF-ROLLING OPERATIONS. THE ROOT SYSTEMS OF ALL TREES (NOT DESIGNATED TO REMAIN) SHALL BE REMOVED IN THEIR ENTIRETY. STRIPPING MATERIALS SHALL NOT BE INCORPORATED INTO STRUCTURAL FILLS.
2. **SUBGRADE PREPARATION:** PRIOR TO PLACEMENT OF NEW FILL MATERIAL, THE EXISTING SUBGRADE SHALL BE PROOFROLLED AND APPROVED UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE.
3. **PROOFROLLING:** SUBSEQUENT TO COMPLETION OF STRIPPING AND OVER-EXCAVATION, ALL BUILDING AND PAVEMENT AREAS TO RECEIVE ENGINEERED FILL SHOULD BE SYSTEMATICALLY PROOF-ROLLED USING A TANDEM AXLE DUMP TRUCK LOADED TO APPROXIMATELY 20,000 POUNDS PER AXLE. ALSO, ANY FINISHED SUBGRADE AREAS TO RECEIVE PAVING SHALL BE PROOF-ROLLED WITHIN 48 HOURS OF PAVING. UNSUITABLE SOILS THAT ARE DETECTED AND THAN CAN NOT BE RE-COMPACTED SHOULD BE OVER-EXCAVATED AND REPLACED WITH CONTROLLED STRUCTURAL FILL.

**LEGEND:**

- 1225 — PROPOSED CONTOURS
- - - 1225 - - - EXISTING CONTOURS
- - - 1226 - - - EXISTING CONTOURS

**LIST OF ABBREVIATIONS:**

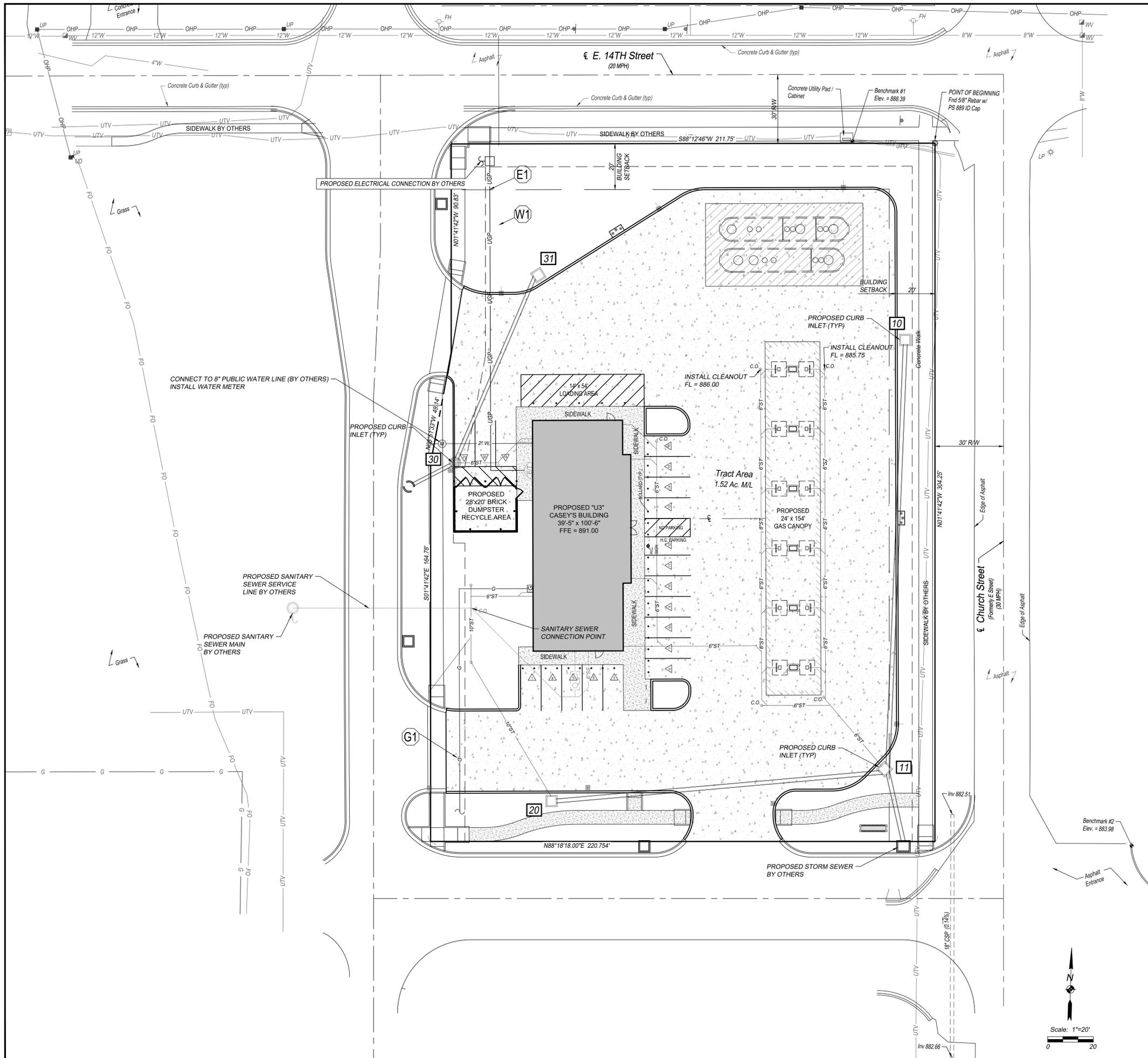
- EX - EXISTING
- FFE - FINISHED FLOOR ELEVATION
- TC - TOP OF CURB
- TG - TOP OF GROUND
- TI - TOP OF INLET
- TP - TOP OF PAVEMENT
- TPE - TOP OF EXISTING PAVEMENT
- TS - TOP OF SIDEWALK
- BW - BASE OF WALL
- TW - TOP OF WALL
- TM - TOP OF MANHOLE
- TF - TOP OF FOOTING



SBB Proj. No. 19-222

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<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: <b>EUDORA, KS          "U3 STORE"</b> <b>WEST 14th St. &amp; CHURCH ST.</b>	DRAWING INFORMATION: RELEASED: 07/06/20 REVISIONS: CONSTRUCTION DIVISION DRAWN BY: JWL CHECKED BY: JWL
<b>GRADING PLAN</b> <span style="font-size: 2em; font-weight: bold;">C-201</span>	

**SBB ENGINEERING**  
 101 S. Kansas Ave.  
 Topeka, KS 66603  
 Ph: 785.215.8630



**SITE UTILITY KEY NOTES:**

- (D1)** TYPICAL STORM WATER DRAIN LINE FROM ROOF OR LANDSCAPE DRAIN. SEE BUILDING PLANS CONNECTION LOCATIONS. DRAIN LINES SHALL BE PVC SDR 35 OR HDPE N-12. MINIMUM SLOPE SHALL BE 1.0%.
- (E1)** PLACE ELECTRICAL AND TELEPHONE ENTRY INTO BUILDING. BUILDING ELECTRIC PLAN FOR SECONDARY CONDUIT ROUTING INSIDE BUILDING TO ELECTRIC METERS.  
ELECTRIC: 3 PHASE, 800 or 1200 AMP., 120/208 VOLTS, 4 WIRE.  
TELEPHONE: 20 PAIR, 8 LINES.
- (G1)** INSTALL GAS LINE TO BUILDING ENTRY WITH 1 GAS METER. SIZE OF GAS MAIN SHALL BE AS DETERMINED BY UTILITY OR AS SHOWN ON BUILDING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE SIZE AND INSTALLATION OF GAS SERVICE LINE AND METER.
- (S1)** 6" SANITARY SEWER SERVICE LINE PIPE TO BE PVC SCHEDULE 40 AND MAINTAIN A MINIMUM SLOPE OF 1.0%.
- (W1)** CONNECT TO EXISTING 6" WATERLINE. INSTALL 1 1/2" METER SETTING AND METER PIT. INSTALL 2" DOMESTIC WATER LINE TO BUILDING.

**LEGEND:**

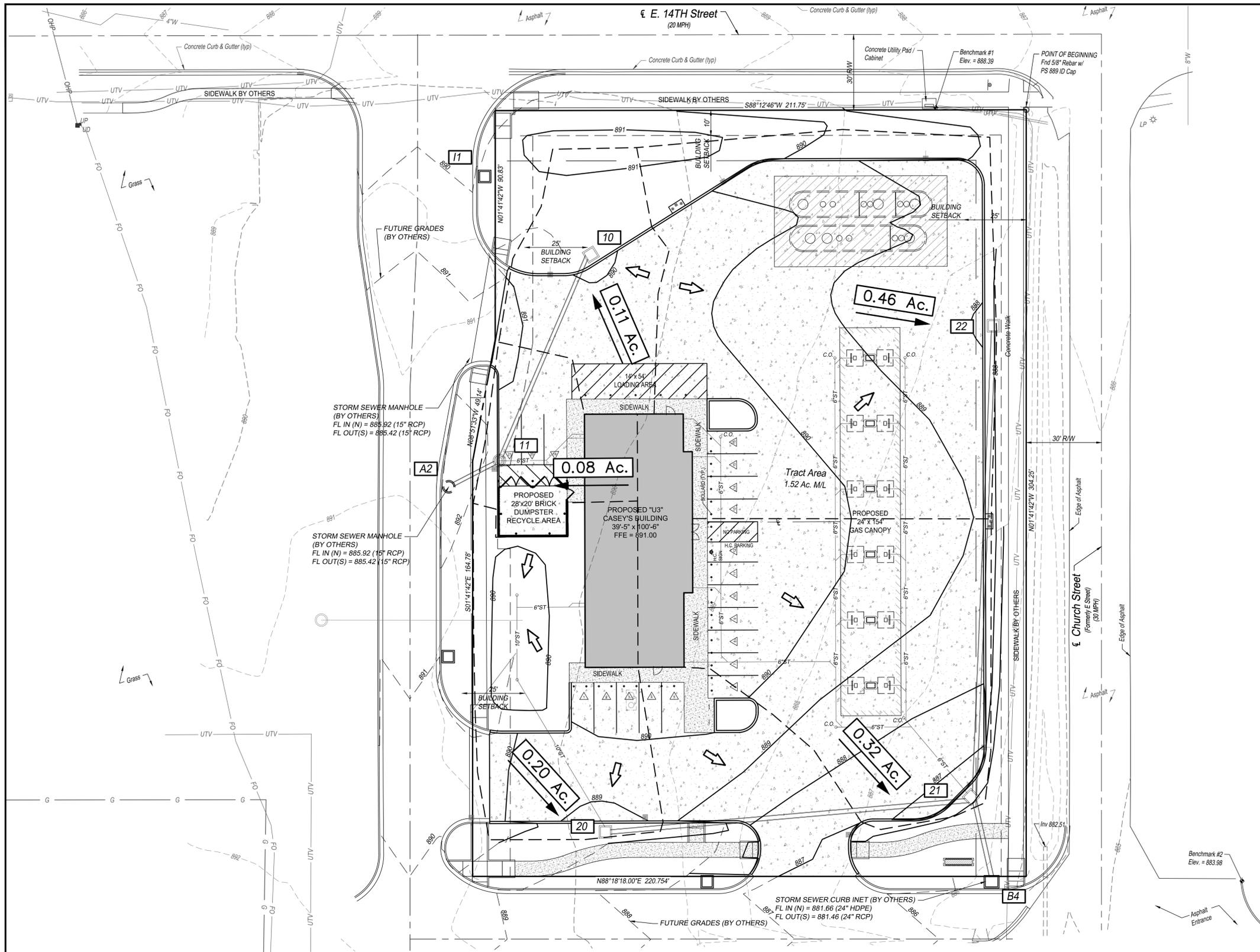
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERLINE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING UNDERGROUND TELEVISION
	EXISTING GASLINE
	PROPOSED WATERLINE
	PROPOSED GASLINE
	PROPOSED SANITARY SEWER
	PROPOSED UNDERGROUND POWER
	PROPOSED STORM SEWER

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<p><b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100</p>	
<p>PROJECT: EUDORA, KS "U3 STORE"</p> <p>CONSTRUCTION DIVISION</p> <p>DRAWN BY: JWJ</p>	<p>DATE: 07/06/20</p> <p>REVISIONS:</p> <p>ISSUED: 07/06/20</p> <p>REVISIONS:</p> <p>CHECKED BY: JWJ</p>
<p>UTILITY PLAN</p> <p><b>C-301</b></p>	

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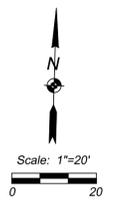


**LEGEND:**

- FLOW PATH DIRECTION (TYP.)
- - - DRAINAGE AREA BOUNDARY
- 34.40 Ac. DENOTES DRAINAGE AREA
- X DENOTES STRUCTURE NUMBER/LOCATION ID
- ↪ DENOTES 100-YR OVERFLOW PATH

**PROPOSED RUNOFF CALCULATIONS**

STR	RUNOFF					SYSTEM TIME OF CONCENTRATION "Tc" AT STRUCTURE (MIN)	RAINFALL INTENSITY "I <sub>30</sub> /I <sub>100</sub> "	ANTECEDENT PRECIPITATION FACTOR	RUNOFF "Q <sub>25</sub> /Q <sub>100</sub> "	PIPE DESIGN (Concrete n=0.013 & HDPE n=0.011)											
	INCREMENTAL RUNOFF COEFFICIENT "C"	AREA "A" (ACRES)	C X A	CUMULATIVE AREA "A" (ACRES)	C X A					UPSTREAM STRUCTURE NUMBER	DOWNSTREAM STRUCTURE NUMBER	DIAMETER "D" (IN)	LENGTH "L" (FT)	UPSTREAM INVERT ELEVATION	DOWNSTREAM INVERT ELEVATION	SLOPE "S" (FT/FT)	TRAVEL TIME IN PIPE "T" (MIN)	VELOCITY FULL V <sub>F</sub> (FPS)	RUNOFF "Q <sub>25</sub> /Q <sub>100</sub> "	FULL FLOW Q (CFS)	Notes
10	0.81	0.11	0.09	0.11	0.09	5.0	7.35 10.32	1.10 1.25	0.7 1.1	10	11	15	88	886.66	886.22	0.0050	0.4	3.8	0.7 1.1	4.6	
11	0.81	0.08	0.06	0.19	0.15	5.0	7.35 10.32	1.10 1.25	1.2 2.0	11	A2	15	20	886.02	885.92	0.0050	0.1	3.8	1.2 2.0	4.6	
20	0.81	0.20	0.16	0.20	0.16	5.0	7.35 10.32	1.10 1.25	1.3 2.1	20	21	15	144	884.00	882.40	0.0111	0.4	5.6	1.3 2.1	6.8	
21	0.81	0.32	0.26	0.98	0.79	5.0	7.35 10.32	1.10 1.25	6.4 10.2	21	B4	24	32	881.90	881.66	0.0075	0.1	6.3	6.4 10.2	19.6	
22	0.81	0.46	0.37	0.46	0.37	5.0	7.35 10.32	1.10 1.25	3.0 4.8	22	21	15	186	883.40	882.40	0.0054	0.8	3.9	3.0 4.8	4.7	



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**CASEY'S General Store**

**CASEY'S CONSTRUCTION DIVISION**  
 One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

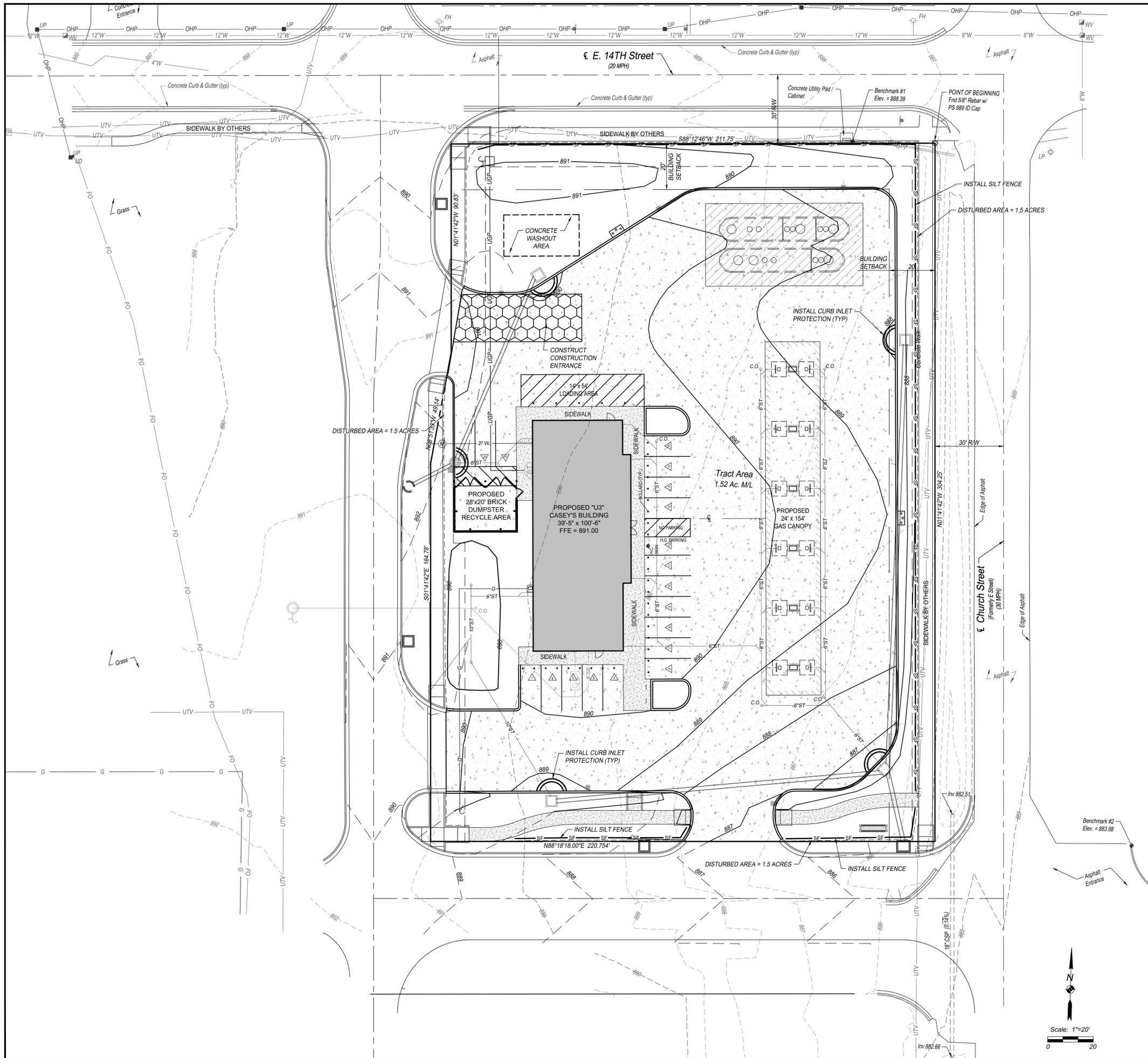
PROJECT: EUDORA, KS "U3 STORE"  
 WEST 14th St. & CHURCH St.

DATE: 07/06/20  
 REVISION: \_\_\_\_\_

DRAWING INFORMATION:  
**DRAINAGE PLAN**

**C-302**

DRAWN BY: JWJ  
 CHECKED BY: JWJ



**EROSION CONTROL GENERAL NOTES:**

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT EROSION ON THE PROJECT AND POLLUTION OF ANY DRAINAGE COURSE, AND SHALL MEET THE REQUIREMENTS OF THE STATE OF KANSAS STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITIES GENERAL PERMIT NO. 5-MCST-1703-1.
2. PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS, CONTRACTOR SHALL INSTALL PERIMETER WATTLES AND CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN. THE INLET PROTECTION AND ADDITIONAL WATTLES WITHIN WORK AREA SHALL BE INSTALLED IMMEDIATELY AFTER INSTALLATION OF THE INLETS AND COMPLETION OF ROUGH GRADING.
3. EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR NOT LESS THAN WEEKLY OR WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR MORE. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO SEDIMENT REMOVAL AND SILT FENCE REPAIR AND/OR REPLACEMENT. FIELD ADJUSTMENTS MAY BE MADE AS NECESSARY TO ENSURE OPTIMAL PERFORMANCE.
4. CONTRACTOR SHALL CLEAR ALL SURROUNDING PARKING LOTS AND STREETS OF ANY TRACKED DEBRIS BY SWEEPING OR SCRAPING THE EXISTING PAVEMENT BY THE END OF EACH WORKDAY AND THE CONTRACTOR SHALL CLEAN UP SOIL WASHED OFF THE CONSTRUCTION SITE AFTER A STORM BY THE END OF THE NEXT WORKDAY.
5. DURING ALL SOIL DISTURBING ACTIVITIES, THE CONTRACTOR WILL TAKE APPROPRIATE STEPS USING ACCEPTED CONSTRUCTION METHODS TO MINIMIZE THE TIME OF EXPOSURE OF UNPROTECTED SOIL AND OTHER CONSTRUCTION MATERIALS TO RAINFALL.
6. CONTRACTOR SHALL KEEP A WRITTEN LOG OF WHEN CONSTRUCTION ACTIVITIES BEGIN, EROSION AND SEDIMENT CONTROLS ARE INSTALLED, INSPECTED AND REPAIRED.
7. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL GRASS COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY ENGINEER.
8. ALL AREAS SHALL BE GRADED TO FINISHED GRADE PRIOR TO SEEDING AND MULCHING. ALL AREAS NOT PART OF THE HARDSCAPE OR OTHER NOTED LANDSCAPING SHALL BE PERMANENTLY SEEDED, FERTILIZED AND MULCHED.
9. ALL WATTLES SHALL BE STRAW WATTLE WS-12 AS MANUFACTURED BY NORTH AMERICAN GREEN, OR APPROVED EQUAL. THE WATTLES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR MAY USE WATTLES AND SILT FENCE INTERCHANGEABLY IN AREAS IDENTIFIED ON THE DRAWINGS.
10. THE CONTRACTOR HAS THE OPTION TO MODIFY THE LOCATION OF THE CONSTRUCTION ENTRANCE TO FIT THE PREFERRED WORK PATTERN.
11. REQUIREMENTS FOR EROSION & SEDIMENT CONTROL SHALL BE FOLLOWED AS OUTLINED IN CHAPTER IX ARTICLE 9 OF THE CITY OF LAWRENCE CITY CODE.

**WASTE DISPOSAL:**

1. WASTE MATERIALS: ANY WASTE AND OTHER UNUSABLE MATERIALS WILL BE REMOVED FROM THE SITE ON A REGULAR BASIS AND PROPERLY DISPOSED OF IN AN APPROVED SITE.
2. CHEMICAL WASTE: ALL CHEMICAL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A TIGHTLY SEALED METAL OR OTHER CHEMICAL RESISTANT CONTAINER. THE CONTAINER WILL MEET ALL LOCAL AND ANY STATE SOLID WASTE MANAGEMENT REGULATIONS. THE WASTE MATERIALS AND ALL DISPOSABLE MATERIALS WILL BE TRANSPORTED TO A COMMERCIAL CHEMICAL DISPOSAL FACILITY CAPABLE OF EITHER RECYCLING OR PROPERLY DISPOSING OF THE POLLUTANTS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. THE STATE WASTE MANAGEMENT SECTION CONTACT NUMBER IS (785) 296-1600.
3. HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS, SUCH AS OIL FILTERS, PETROLEUM PRODUCTS, EQUIPMENT MAINTENANCE FLUIDS AND PAINTS, SHALL NOT BE STORED ON SITE AND WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE AND/OR FEDERAL REGULATIONS. IF THERE ARE QUESTIONS REGARDING THE PROPER HANDLING OF HAZARDOUS WASTES THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT HAZARDOUS WASTE SECTION AT (785) 296-1600.
4. SANITARY WASTE: PORTABLE TOILET FACILITIES WILL BE PROVIDED ON THE PROJECT SITE AND SERVICED BY THE PROVIDER ON A REGULAR BASIS.

**MATERIAL MANAGEMENT PRACTICES:**

GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON-SITE DURING CONSTRUCTION.

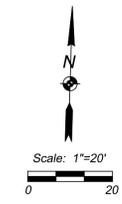
1. ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN ORIGINAL CONTAINERS IF APPROPRIATE.
2. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABELS.
3. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

**SPILL PREVENTION:**

1. PETROLEUM PRODUCTS: ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
2. FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. FERTILIZER SHALL NOT BE STORED ON-SITE.
3. CONCRETE TRUCKS: CONCRETE TRUCKS ARE LIMITED TO A DESIGNATED AREA TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE. PROPER SIGNAGE SHALL BE INSTALLED AND MAINTAINED ON SITE DEFINING DIRECTIONS TO AND LOCATIONS OF THE SPECIFIED WASH OUT AREA. IF A WASH OUT AREA CANNOT BE DESIGNATED OR MAINTAINED ON SITE, CONCRETE WASH OUT AND DISPOSAL MAY BE PROHIBITED AT THE OWNERS DISCRETION.

**LEGEND:**

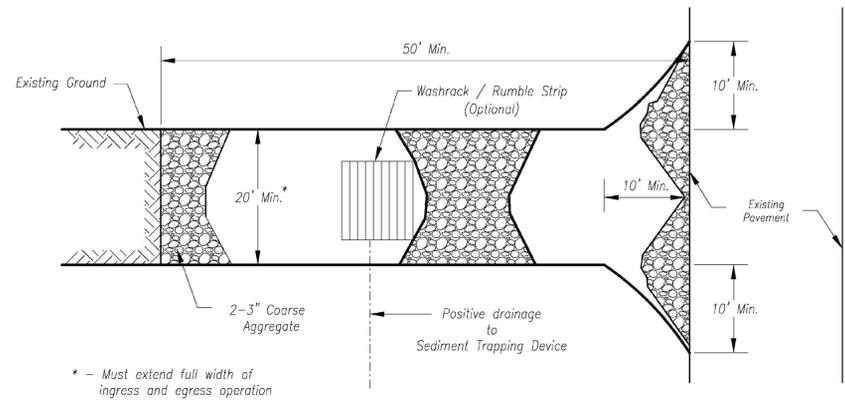
-  SILT FENCE
-  CURB INLET PROTECTION
-  DISTURBED AREA = 1.5 ACRES
-  CONSTRUCTION ENTRANCE
-  EXISTING CONTOURS
-  PROPOSED CONTOURS



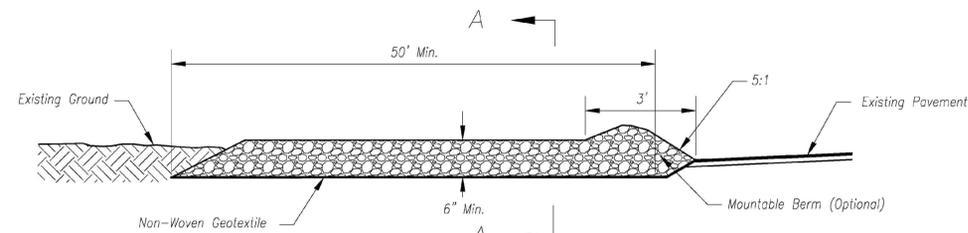
SBB Proj. No. 19-222



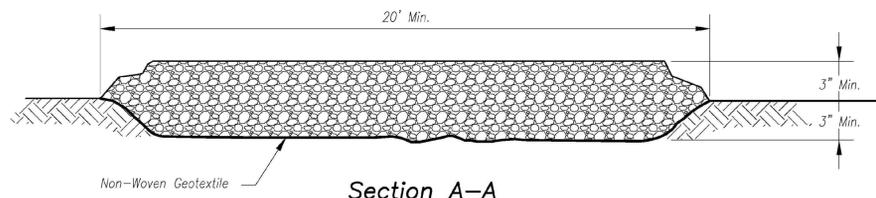
  	
<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: <b>EUDORA, KS          "U3 STORE"</b>	DRAUGHTSMAN: <b>JWL</b>
DRAWING INFORMATION: <b>CONSTRUCTION DIVISION</b>	CHECKED BY: <b>JWL</b>
<b>EROSION CONTROL PLAN</b>	
<b>C-401</b>	



**Plan View**  
Not to Scale



**Side Elevation**  
Not to Scale



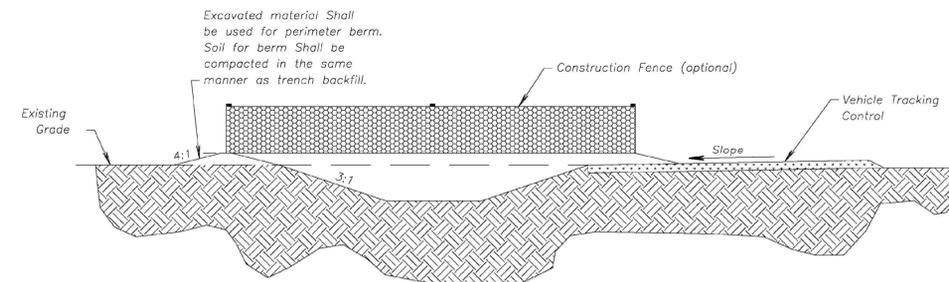
**Section A-A**  
Not to Scale

Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

CONSTRUCTION ENTRANCE

**AMERICAN PUBLIC WORKS ASSOCIATION**



**KANSAS CITY  
METRO CHAPTER**

**CONSTRUCTION ENTRANCE  
AND CONCRETE WASHOUT**

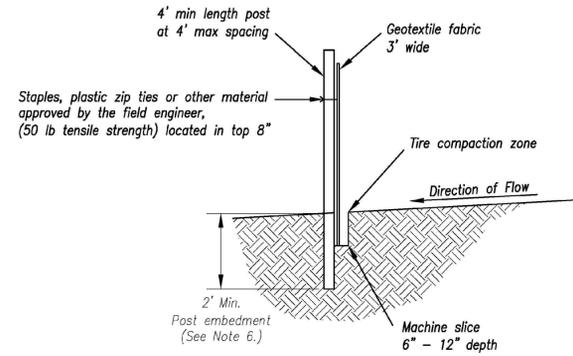
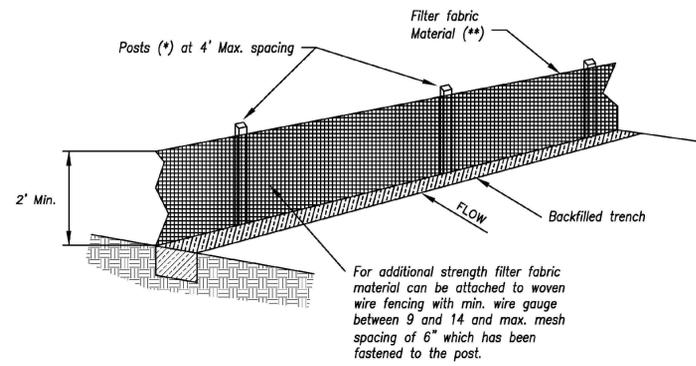
**STANDARD DRAWING  
NUMBER ESC-01  
ADOPTED:  
10/24/2016**

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

SBB Proj. No. 19-222



<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: <b>EUDORA, KS "U3 STORE"</b>	DRAWING INFORMATION: <b>EROSION CONTROL DETAILS</b>
DRAWING INFORMATION: <b>CONSTRUCTION DIVISION</b>	<b>C-402</b>
DRAWN BY: <b>JWL</b>	CHECKED BY: <b>JWL</b>



- (\*) POSTS**
- MIN. LENGTH 4'
  - HARDWOOD 1 3/16" x 1 3/16"
  - NO.2 SOUTHERN PINE 2 5/8" x 2 5/8"
  - STEEL 1.33 LB/FT

**(\*\*)** - Geotextile Fabric shall meet the requirements of AASHTO M288

**SILT FENCE DETAILS**  
Not to Scale

**Notes:**

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

**Maintenance:**

1. Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
2. Repair as necessary to maintain function and structure.

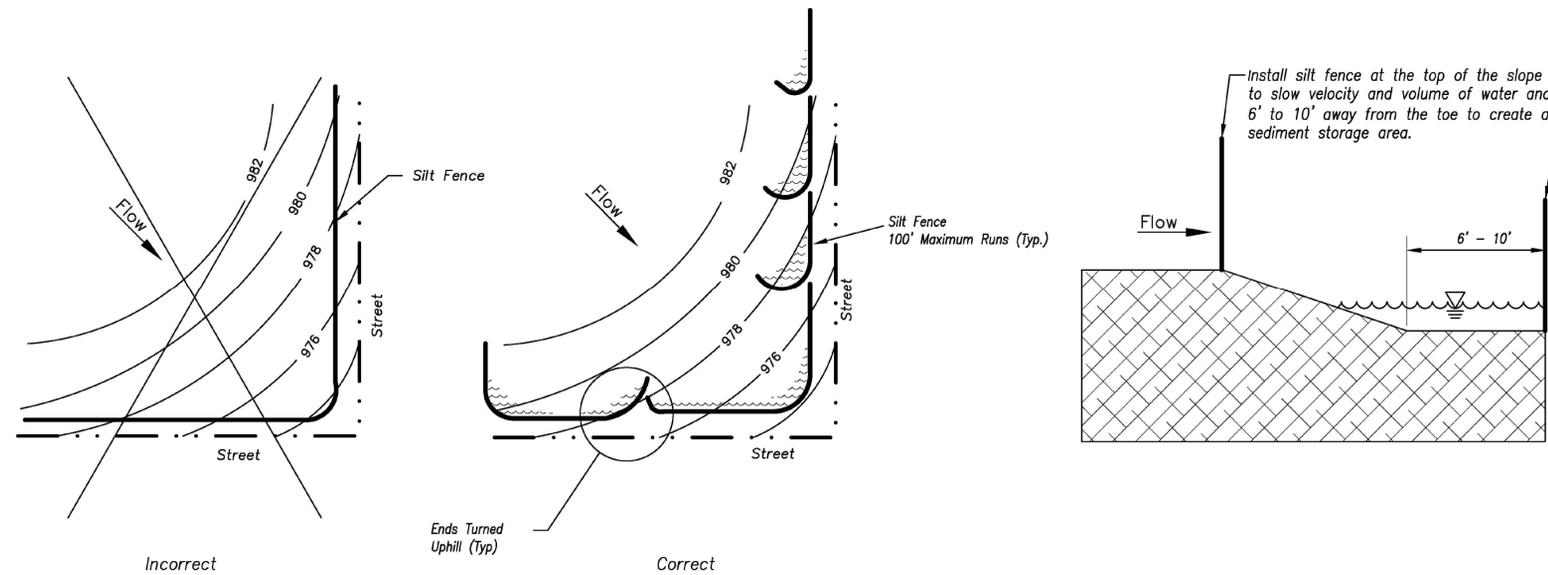
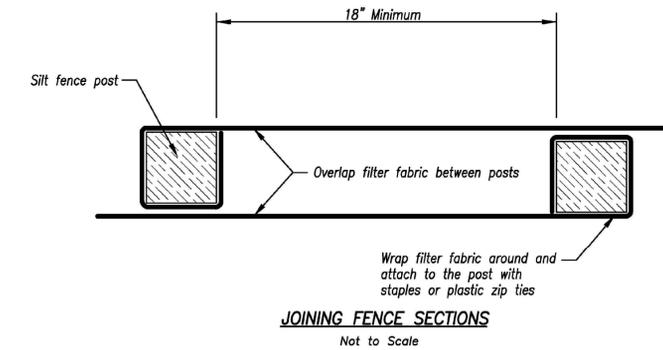


Figure A

**SILT FENCE LAYOUT**  
Not to Scale



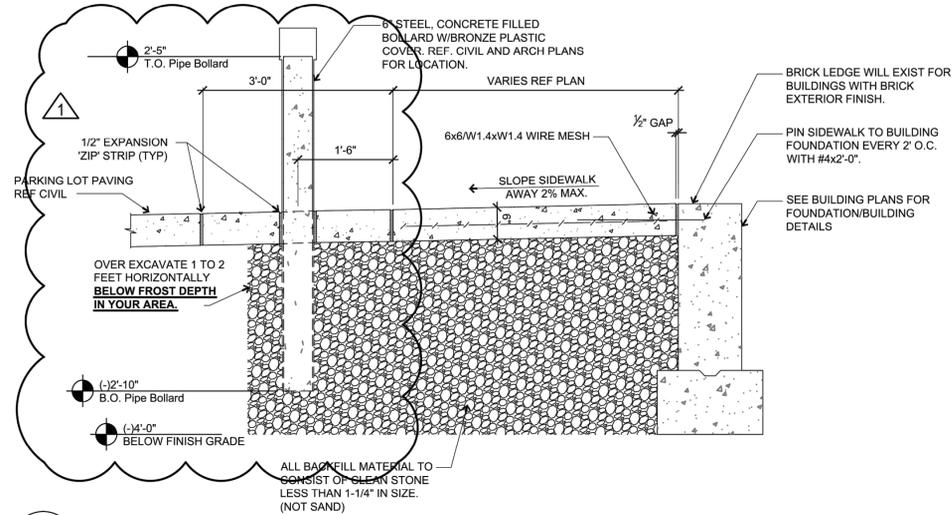
**JOINING FENCE SECTIONS**  
Not to Scale

<b>AMERICAN PUBLIC WORKS ASSOCIATION</b>	
	<b>KANSAS CITY METRO CHAPTER</b>
<b>SILT FENCE</b>	<b>STANDARD DRAWING</b> <b>NUMBER ESC-03</b> <b>ADOPTED:</b> <b>10/24/2016</b>

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

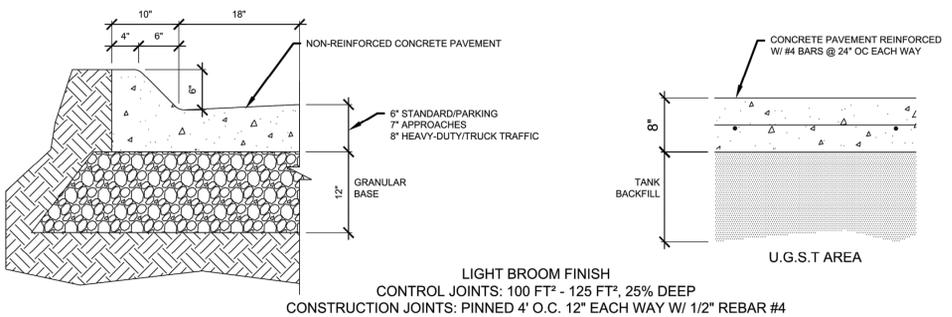
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Ph: 785.215.8630

<b>CASEY'S</b>	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: <b>EUDORA, KS</b> <b>"U3 STORE"</b> <b>WEST 14th St. &amp; CHURCH St.</b>	DRAWING INFORMATION: <b>EROSION CONTROL</b> <b>DETAILS</b> <hr/> <b>C-403</b>
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: <b>JWL</b> CHECKED BY: <b>JWL</b>	DATE: <b>07/06/20</b> REVISIONS:



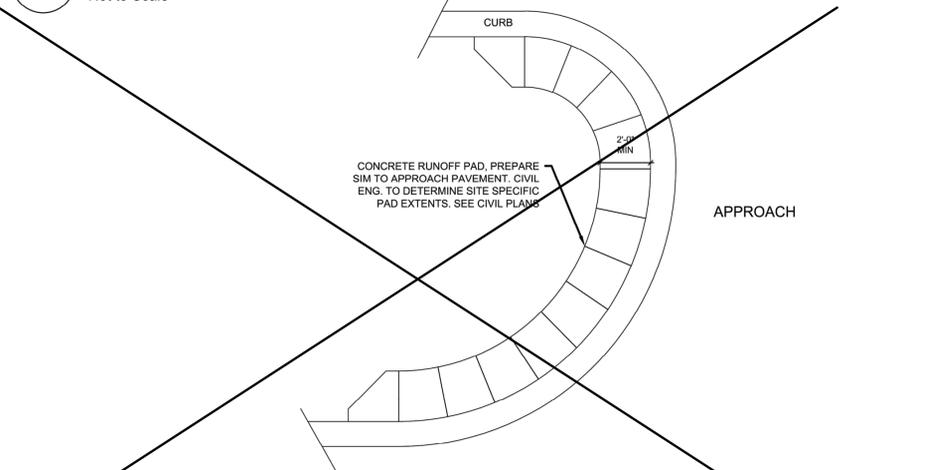
### 1 TYPICAL BUILDING SIDEWALK AND BOLLARD

3/4" = 1'-0"



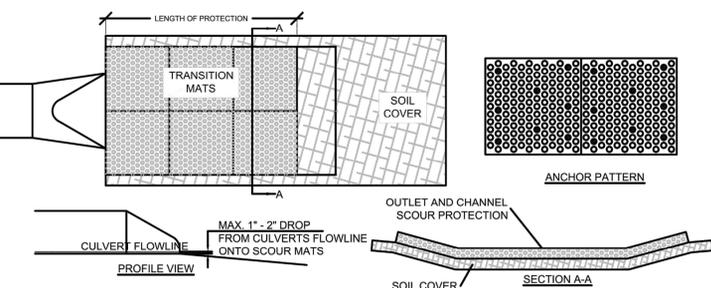
### 2 CONCRETE PAVING AND CURB

Not to Scale



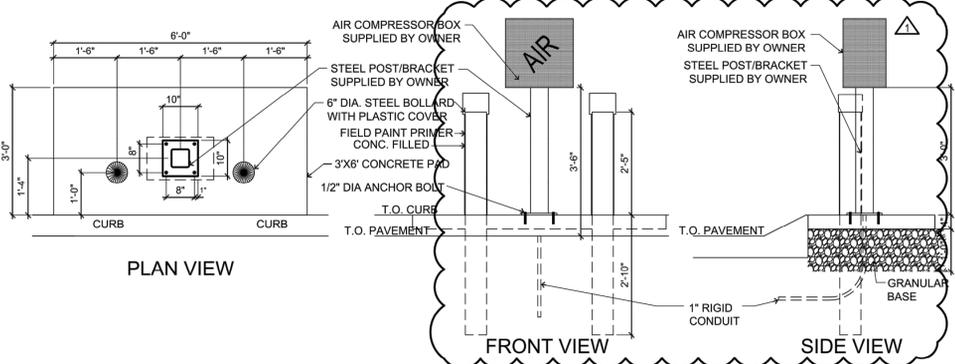
### 3 LANDSCAPE PROTECTOR

Not to Scale



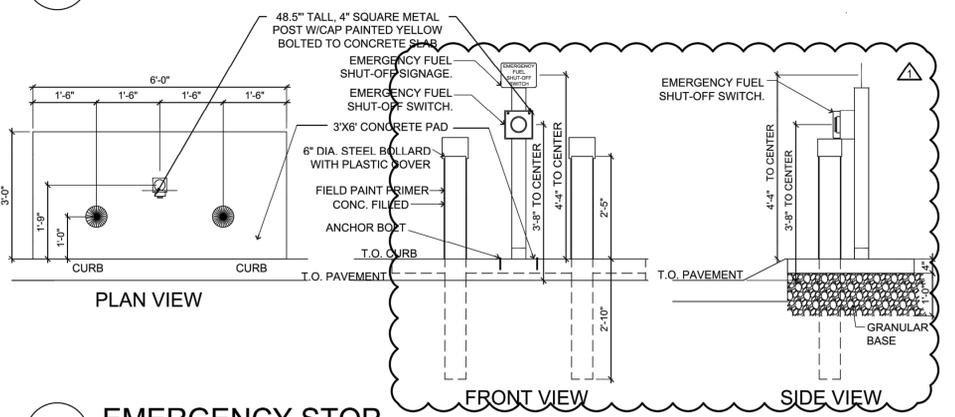
### 4 SCOUR STOP EROSION CONTROL

Not to Scale



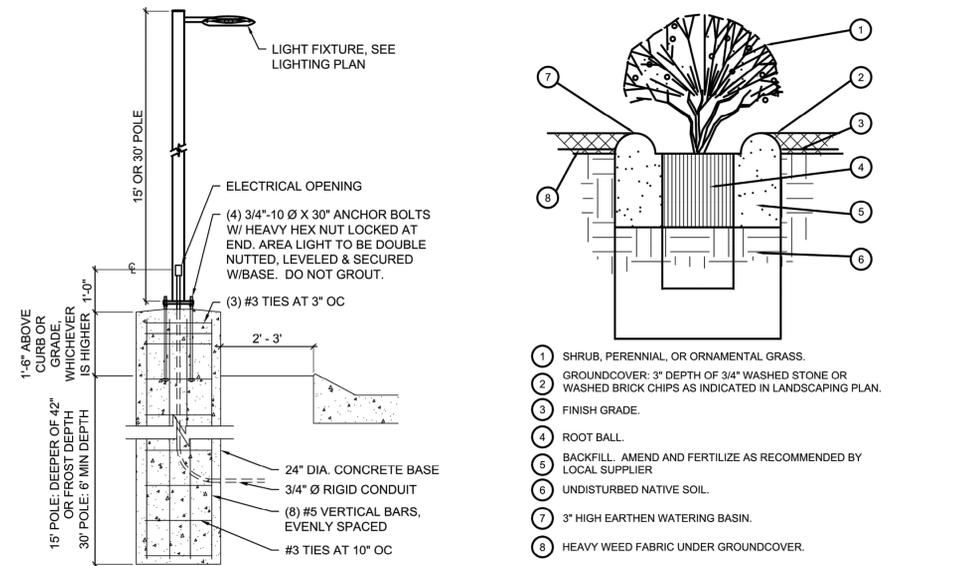
### 5 AIR COMPRESSOR

1/2" = 1'-0"



### 6 EMERGENCY STOP

1/2" = 1'-0"

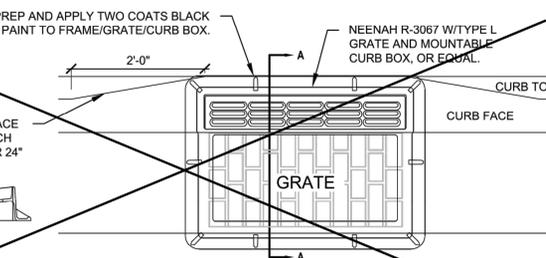
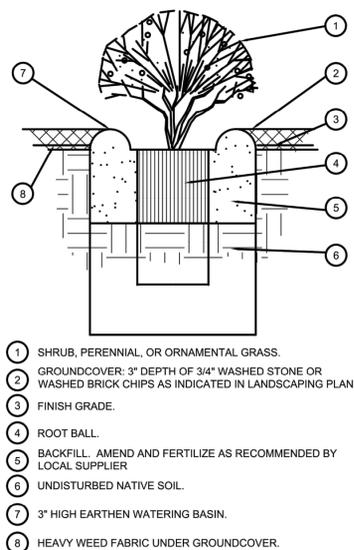


### 7 AREA LIGHTING

1/2" = 1'-0"

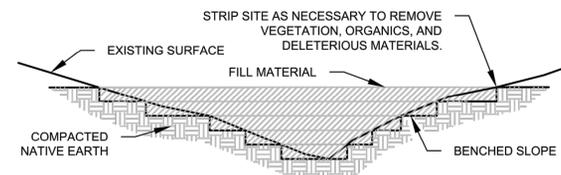
### 8 PLANT/SHRUB INSTALLATION

Not to Scale



### 9 CURB INLET

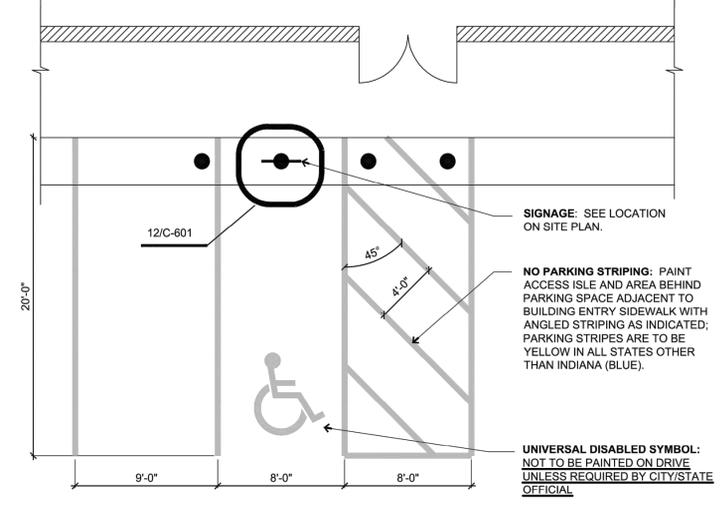
Not to Scale



- NOTES:**
- BENCH SLOPES TO MAINTAIN VERTICAL SIDE SLOPES AT FILL LIMITS  $\pm 1/8'$  VERTICAL TO  $\pm 1/8'$  HORIZONTAL.
  - COMPACTION SHALL BE IN 8" LIFTS TO 95% STANDARD PROCTOR OR OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT.
  - SCARIFY ORIGINAL GROUND AND BLEND WITH FIRST LIFT ON EACH BENCH.
  - ALL FILL MATERIALS, INCLUDING FILL GENERATED ON-SITE, SHALL BE OF SUITABLE MATERIAL. UNSUITABLE FILL MATERIAL INCLUDES, BUT IS NOT LIMITED TO, SOIL THAT CONTAINS LARGE ROCKS, TREE AND PLANT ROOTS, CONCRETE, TRASH, ETC.

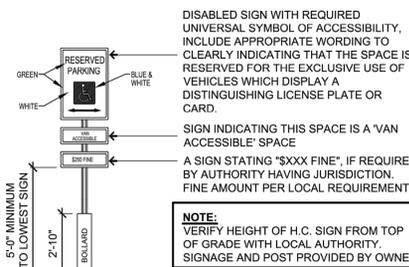
### 10 TYPICAL FILL SECTION

Not to Scale



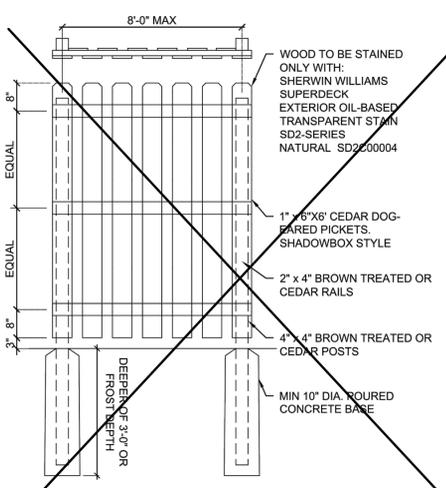
### 11 ADA PARKING SPACES

3/16" = 1'-0"



### 12 ADA PARKING SIGN

1/4" = 1'-0"



### 13 SCREEN/PRIVACY FENCE

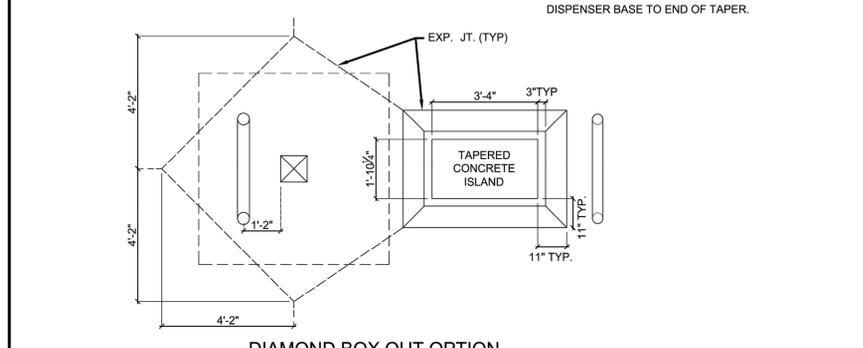
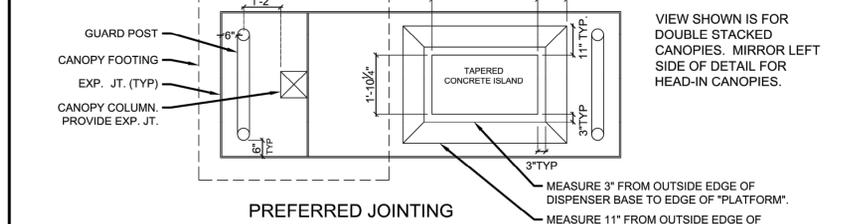
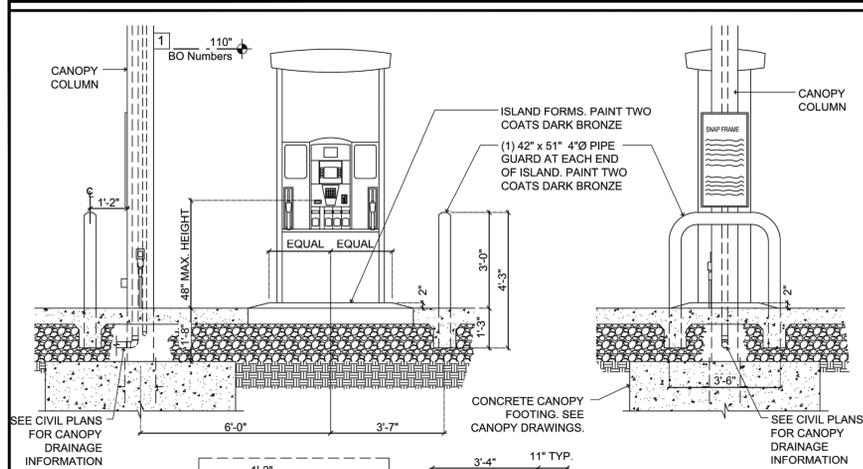
1/2" = 1'-0"

### GENERAL NOTES

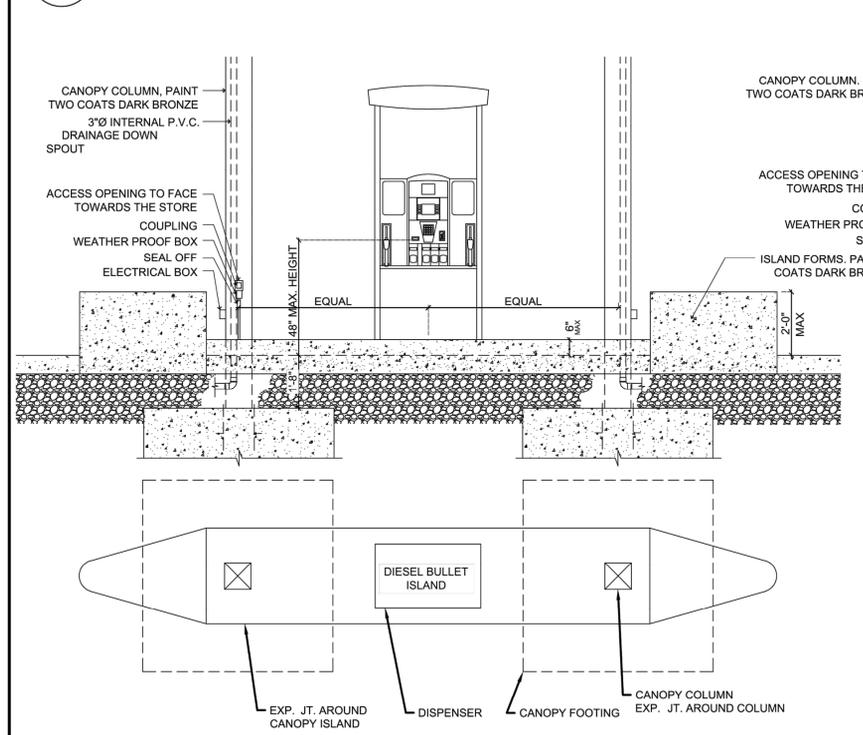
- Concrete:**
- All concrete and reinforcing work shall conform to the latest edition of the American Concrete Institute's "Standard Building Code Requirements for Reinforced Concrete," (ACI 318) and "Specifications for Structural Concrete for Buildings," (ACI 301).
  - Concrete shall use type II cement. Concrete mix designs shall meet the following requirements:
- |                           | MINIMUM 28-DAY $f_c$ | MAXIMUM W/C RATIO | SLUMP       | AIR ENTRAIN |
|---------------------------|----------------------|-------------------|-------------|-------------|
| Exterior exposed concrete | 4,000 psi            | 0.42              | 4" $\pm$ 1" | 6% $\pm$ 1% |
- If Contractor desires to increase slump above allowable limits to facilitate placement or pumping, this shall be done utilizing a superplasticizer approved by the Ready Mix Designer at a dosage rate provided by Ready Mix Designer.
- The Contractor shall reject any concrete that exceeds the slump limits noted above (prior to adding superplasticizer) or concrete that can not be placed within ninety (90) minutes of batch time.
  - No aluminum shall be placed in concrete.
  - All concrete is reinforced unless specifically noted as Unreinforced. Reinforce all concrete not otherwise shown with the same reinforcing as in similar sections or areas.
  - During hot weather (80 degrees F and above), the Contractor shall comply with the recommendations ACI-305 "Hot Weather Concrete". During cold weather (40 degrees and below), the Contractor shall comply with the recommendations of ACI-306 "Cold Weather Concrete".
  - The concrete mix designs are to be submitted as a formal submittal to the Owner for acceptance PRIOR to concrete being delivered to the site.
  - Verify with local authorities the required thickness of poured concrete for approaches and parking lot.
- Sub-Base:**
- Sub-base Course Under Exterior Concrete Paved Surfaces: Spread and compact sub-base in 6"-9" lifts compacted to 98% Standard Proctor.

SBB Proj. No. 19-222

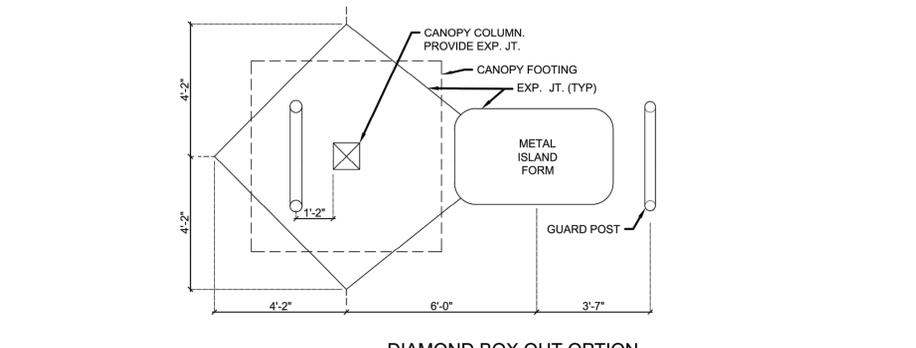
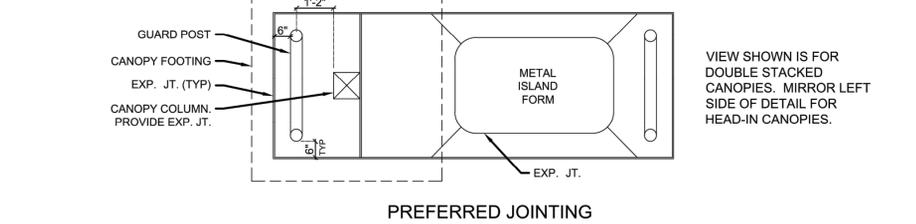
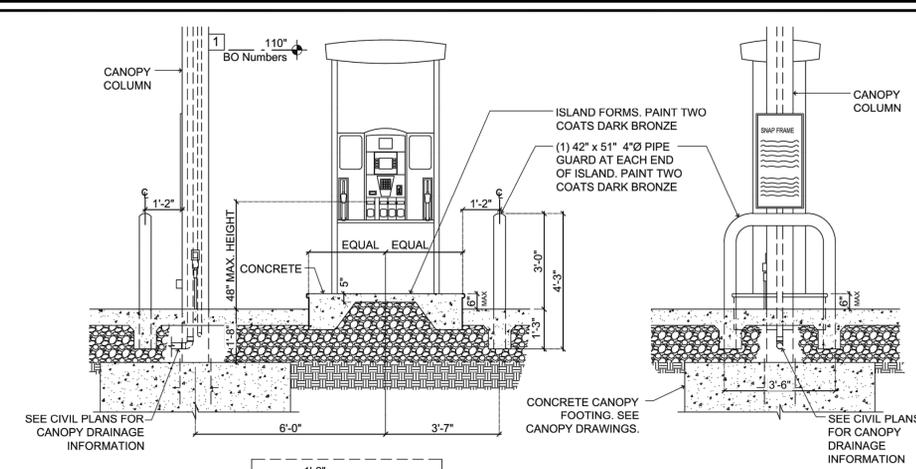
<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
2019 CIVIL DETAILS PUBLISHED: 03/27/19 REVISION: 08/09/19	PROJECT: EUDORA, KS "J3 STORE" WEST 14th St. & CHURCH St. DRAWING INFORMATION: STANDARD DETAILS DRAWING NO: C-601
DRAWN BY: JWL	CHECKED BY: JWL



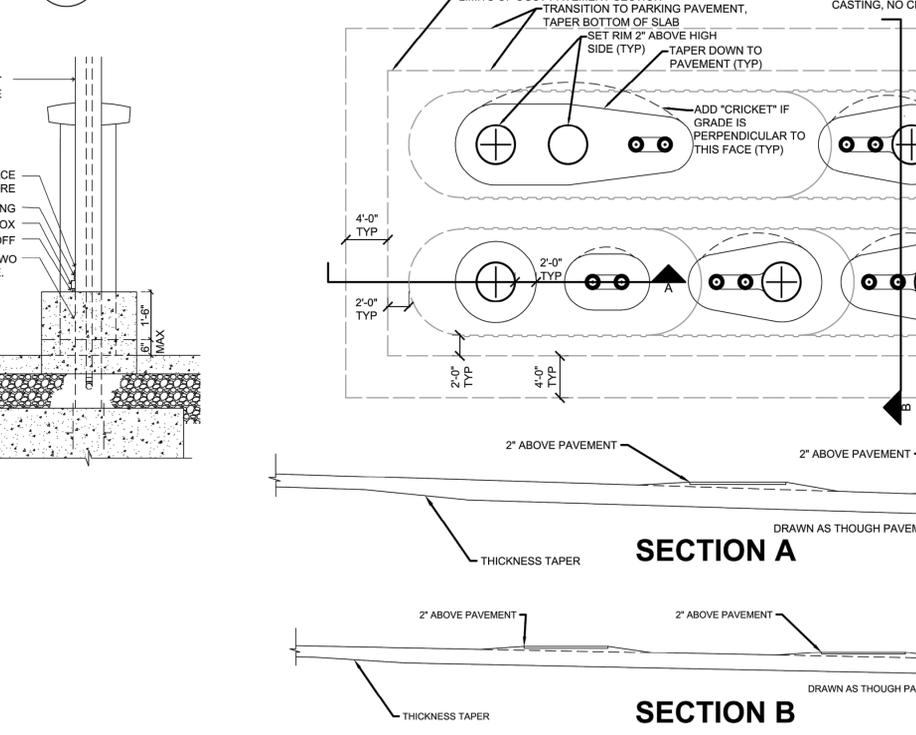
**1 GAS TAPERED FUEL ISLAND (PREFERRED OPTION)**  
3/8" = 1'-0"



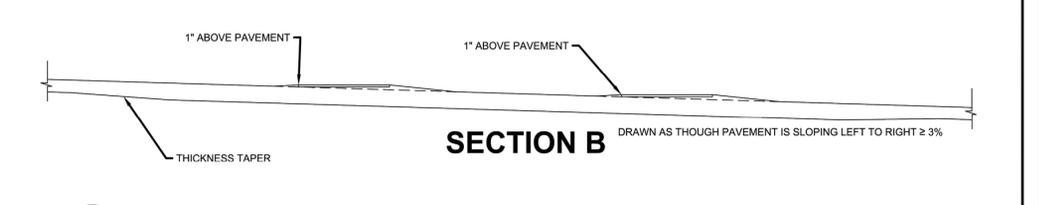
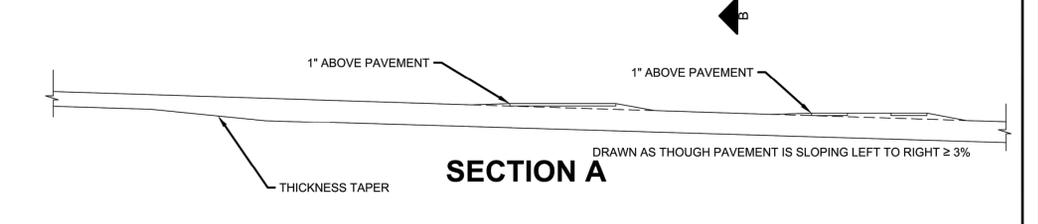
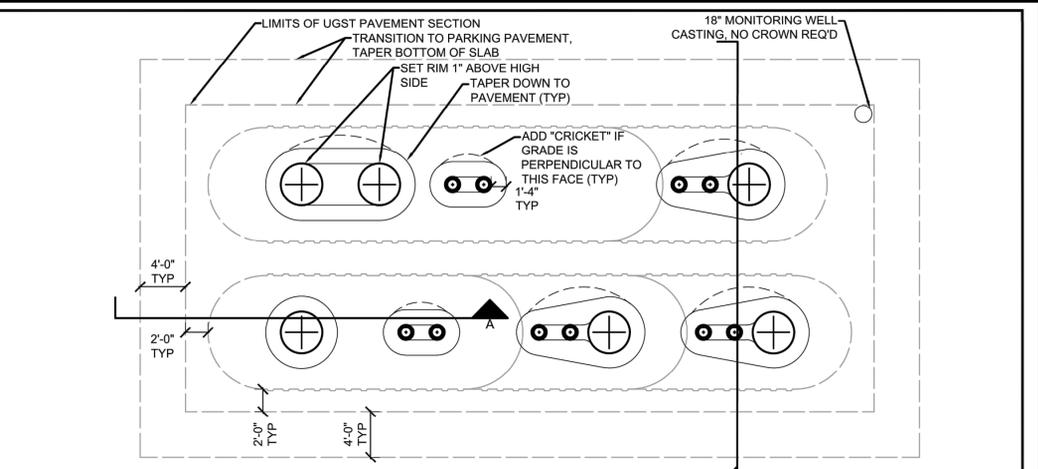
**3 DIESEL BULLET ISLAND**  
3/8" = 1'-0"



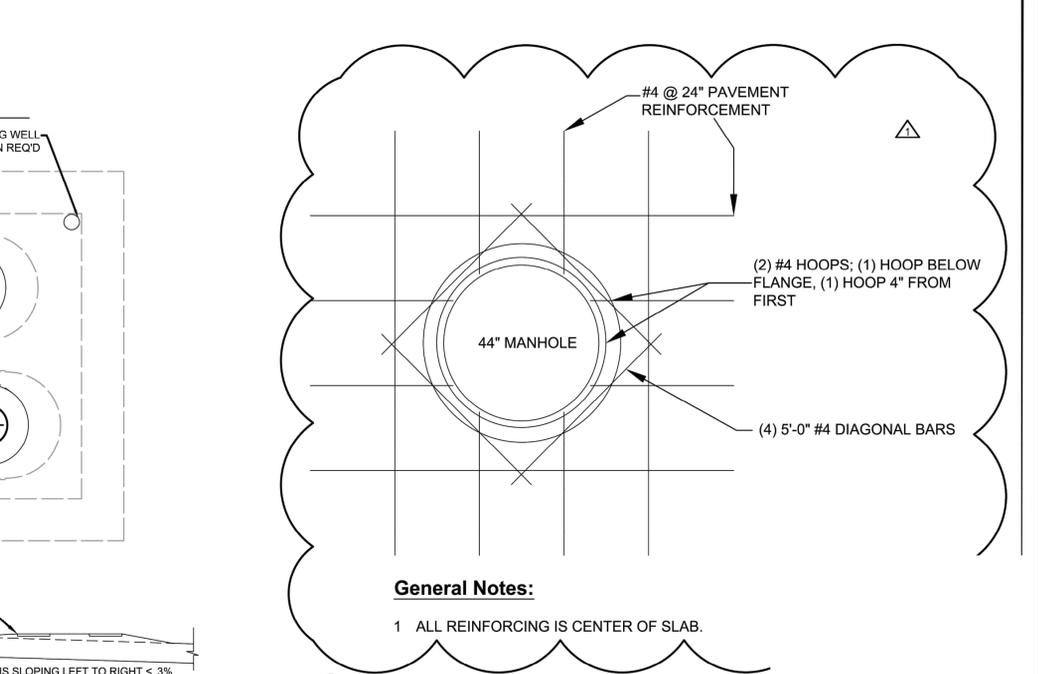
**2 GAS METAL FORM ISLAND**  
3/8" = 1'-0"



**5 UGST PAVING FOR PAVEMENT SLOPE <3%**  
Not to Scale

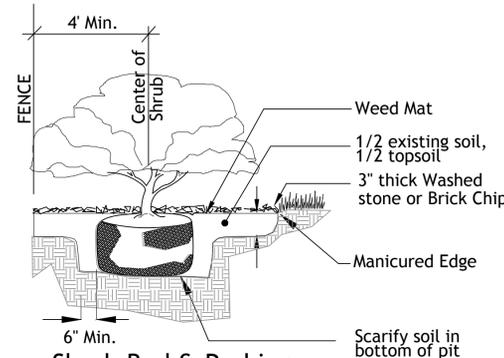
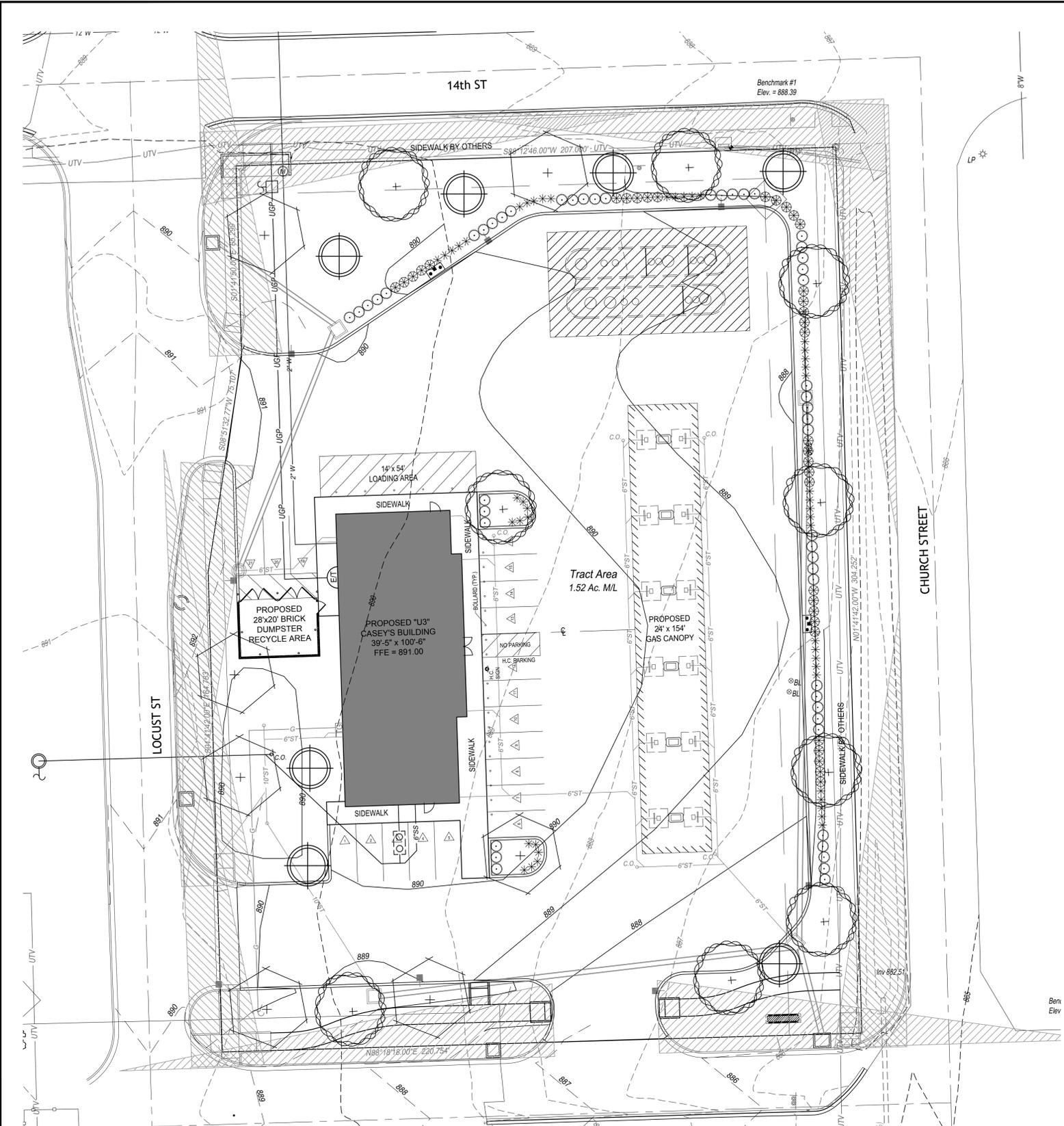


**4 UGST PAVING FOR PAVEMENT SLOPE >3%**  
Not to Scale

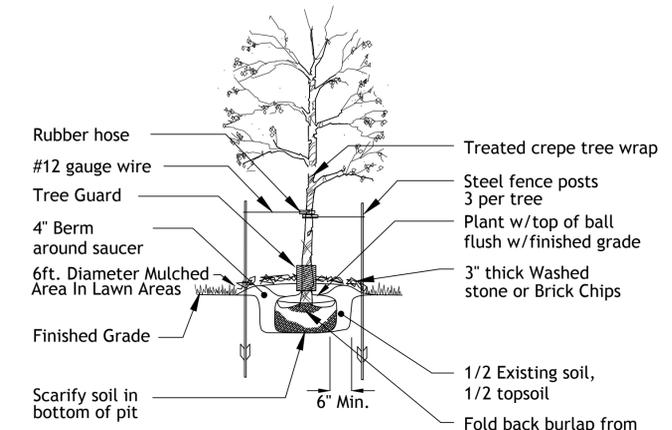


**6 UGST Manhole Detail**  
1/2" = 1'-0"

2019 CIVIL DETAILS		CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PUBLISHED: 03/27/19	PROJECT: EUDORA, KS "UJ STORE"	APPROVED: 07/06/20	STANDARD DETAILS
REVISION: 08/09/19	WEST 14th St. & CHURCH St.	CHECKED: JWJ	C-602
DRAWING INFORMATION: CONSTRUCTION DIVISION	DRAWN BY: JWJ	CHECKED BY: JWJ	



**Shrub Bed & Parking Setback Detail**  
No Scale



**Tree Planting Detail**  
No Scale

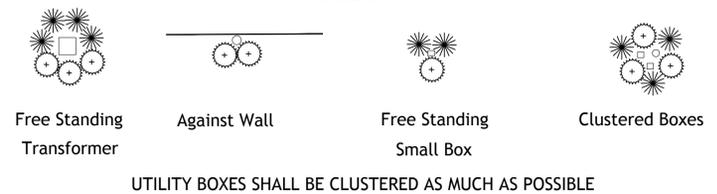
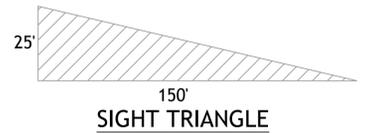
**LANDSCAPE DATA**

CHURCH STREET	304'
REQUIRED	
1 SHADE PER 80'	= 4
1 SHRUB PER 4'	= 59
PROVIDED	
SHADE TREES	= 4
SHRUBS	= 65
PRIVATE ST (WEST)	305'
REQUIRED	
1 SHADE PER 80'	= 4
PROVIDED	= 4
14th ST	207'
REQUIRED	
1 SHADE PER 80'	= 3
1 SHRUB PER 4'	= 49
PROVIDED	
SHADE TREES	= 3
SHRUBS	= 50
PRIVATE ST (SOUTH)	221'
REQUIRED	
1 SHADE PER 80'	= 3
PROVIDED	= 3
OPEN SPACE	
REQUIRED	
1 TREE PER 3,000sf	= 7
PROVIDED	
ORNAMENTALS	= 7

**LANDSCAPE NOTES**

- CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.
- Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.
- No plant material substitutions are allowed without Landscape Architect or Owners approval.
- Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.
- Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.
- Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.
- All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.
- Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.
- All shrub beds within lawn areas to receive a manicured edge.
- All shrub beds shall be mulched with 3" thick Washed stone or Brick Chips
- All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.
- All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.

**Typical Utility Box Screening Details**  
No Scale



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

**Tree List**

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	6	Honeylocust	Gleditsia Triacanthos 'Shademaster'	3" cal	BB	As Shown
	8	Red Oak	Quercus Rubra	3" cal	BB	As Shown
	7	Amur Maple	Acer Ginnala 'Flame'	1 1/2" cal	BB	As Shown

**Shrub List**

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	51	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	24"	Container	4' o.c.
	35	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	24"	Container	4' o.c.
	47	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	3 gal.	Container	4' o.c.



SBB Proj. No. 19-222

**CASEY'S General Store**

CASEY'S CONSTRUCTION DIVISION  
One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

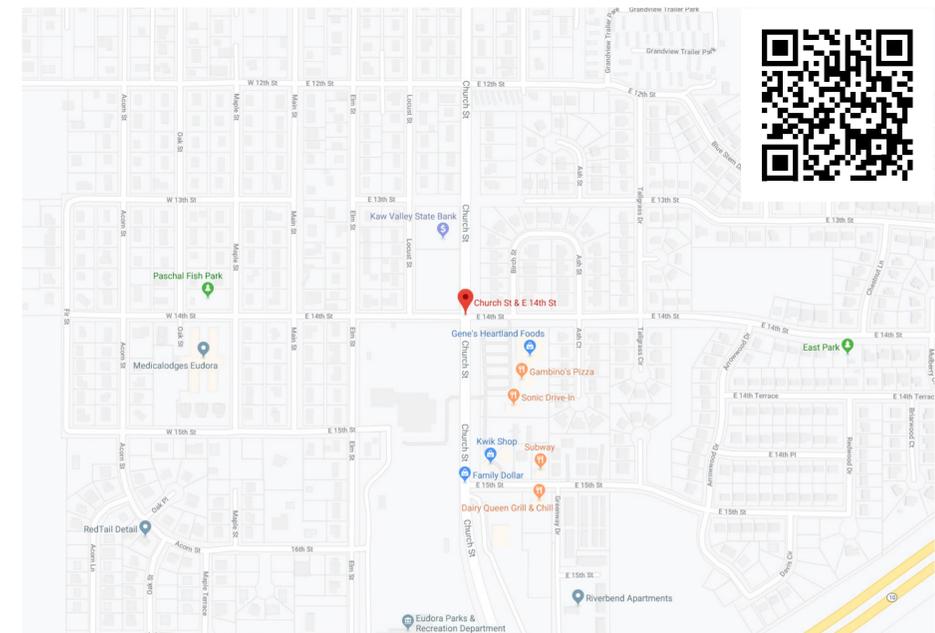
PROJECT: EUDORA, KS "U3 STORE"  
WEST 14th St. & CHURCH ST.

CONSTRUCTION DIVISION

GO GO

LANDSCAPE PLAN  
C-701

## EXTERIOR LIGHTING LAYOUT



LOGIN

CLICK TO LEARN HOW TO USE  
YOUR INTERACTIVE SITE PLAN



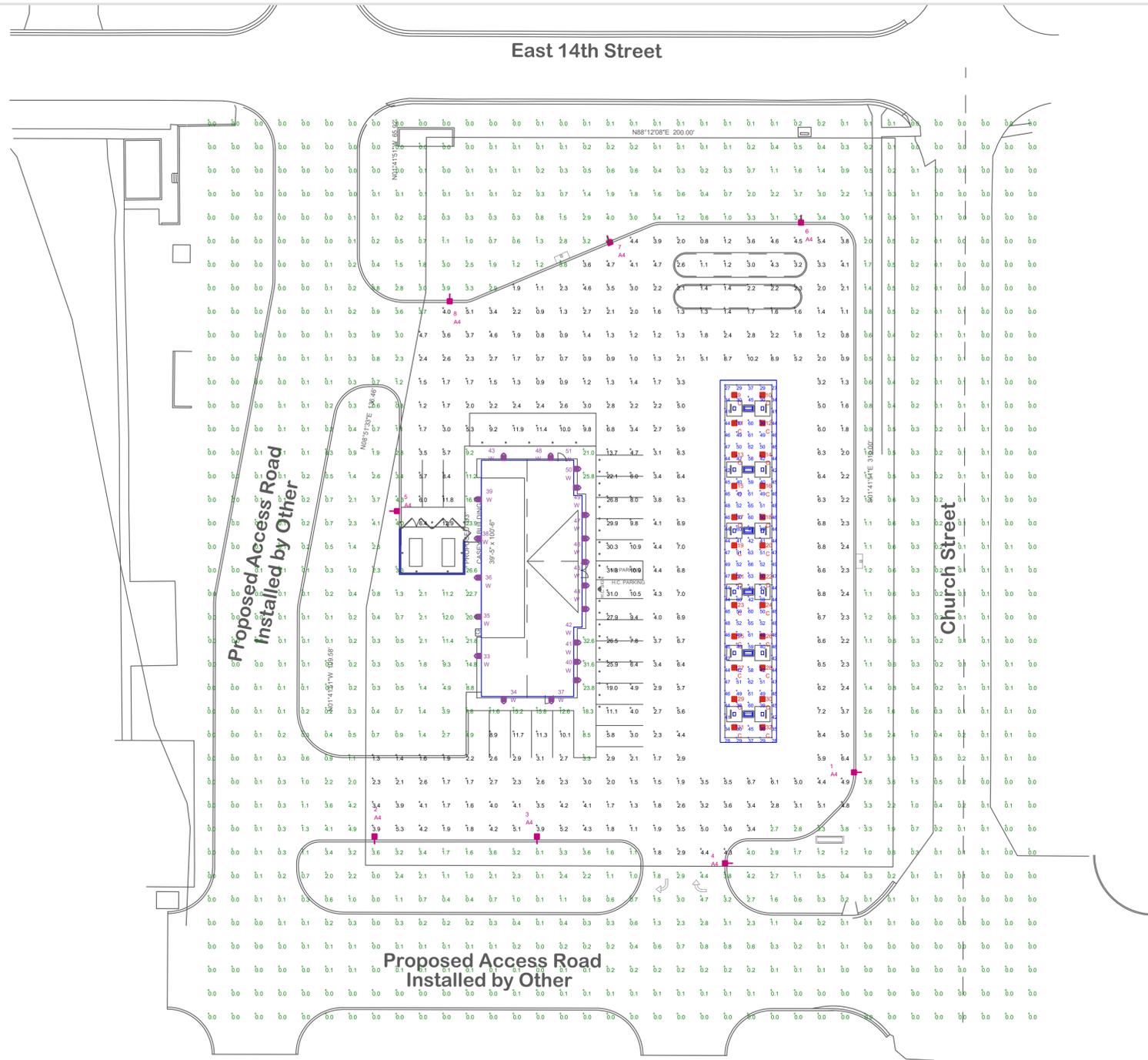
CLICK FOR ADDITIONAL  
INFORMATION & LINKS

[redleonard.com/planinfo](http://redleonard.com/planinfo)



# RL-6516-S1-R2

05/05/20



LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A4	17
2	A4	17
3	A4	17
4	A4	17
5	A4	17
6	A4	17
7	A4	17
8	A4	17
9	C	16.5
10	C	16.5
11	C	16.5
12	C	16.5
13	C	16.5
14	C	16.5
15	C	16.5
16	C	16.5
17	C	16.5
18	C	16.5
19	C	16.5
20	C	16.5
21	C	16.5
22	C	16.5
23	C	16.5
24	C	16.5
25	C	16.5
26	C	16.5
27	C	16.5
28	C	16.5
29	C	16.5
30	C	16.5
31	C	16.5
32	C	16.5
33	W	10
34	W	10
35	W	10
36	W	10
37	W	10
38	W	10
39	W	10
40	W	10
41	W	10
42	W	10
43	W	10
44	W	10
45	W	10
46	W	10
47	W	10
48	W	10
49	W	10
50	W	10
51	W	10

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	4.60	31.8	0.7	6.57	45.43
UNDEFINED AREA	1.02	32.6	0.0	N.A.	N.A.
UNDER CANOPY	46.21	66	27	1.71	2.44

NOTE: ALL AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	8	A4	SINGLE	11259	1.040	B2-U0-G2	134	1072	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-BZ-700
	24	C	SINGLE	13251	1.040	B3-U0-G1	134	3216	CREE, INC.	CAN-304-SL-RS-06-E-UL-WH-700
	19	W	SINGLE	8739	1.040	B2-U0-G2	100	1900	CREE, INC.	SEC-EDG-3M-WM-06-E-UL-BZ-525

REV.	BY	DATE	DESCRIPTION
R1	BJM	2/10/20	REVISED LAYOUT PER NEW SITE PLAN
R2	JSG	5/5/20	REVISED PER NEW SITE PLAN AND BLDG CHANGE

PERSONS USING THIS PROGRAM ARE ADVISED THAT THIS PROGRAM MAY CONTAIN ERRORS WHICH RED LEONARD ASSOCIATES, INC. OR ITS SOFTWARE PROVIDER HAVE NOT OBSERVED. IN ADDITION, THE USE OF THIS PROGRAM TO ADJUST LAYOUT OF LIGHTING AND ESTIMATING MATERIAL QUANTITIES IS NOT INTENDED TO REMOVE THE RESPONSIBILITY OF THE USER TO VERIFY THE COMPLETENESS OF ANY BILL OF MATERIALS AND THAT THE LAYOUT OR USE OF LUMINAIRES IS IN FULL COMPLIANCE WITH ALL LOCAL, STATE, OR FEDERAL STATUTES, REGULATIONS OR OTHER REQUIREMENTS, OR THE REQUIREMENTS OF ANY INSURANCE GROUP, ORGANIZATION OR CARRIER REGARDING LUMINAIRES AND THEIR APPLICATION.

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ILLUMINATION RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED. USER IN CONSULTATION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL FIELD RESULTS MAY VARY FROM THESE PARAMETERS. THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

SCALE: 1" = 30'  
LAYOUT BY: BJM  
DWG SIZE: D  
DATE: 12/19/19

PROJECT NAME: CASEY'S EUDORA, KS  
DRAWING NUMBER: RL-6516-S1-R2



# PRODUCT DETAIL & PLACEMENT

COLOR CODED LABELS, PRODUCT INFORMATION, 3D INTERACTIVE MODEL



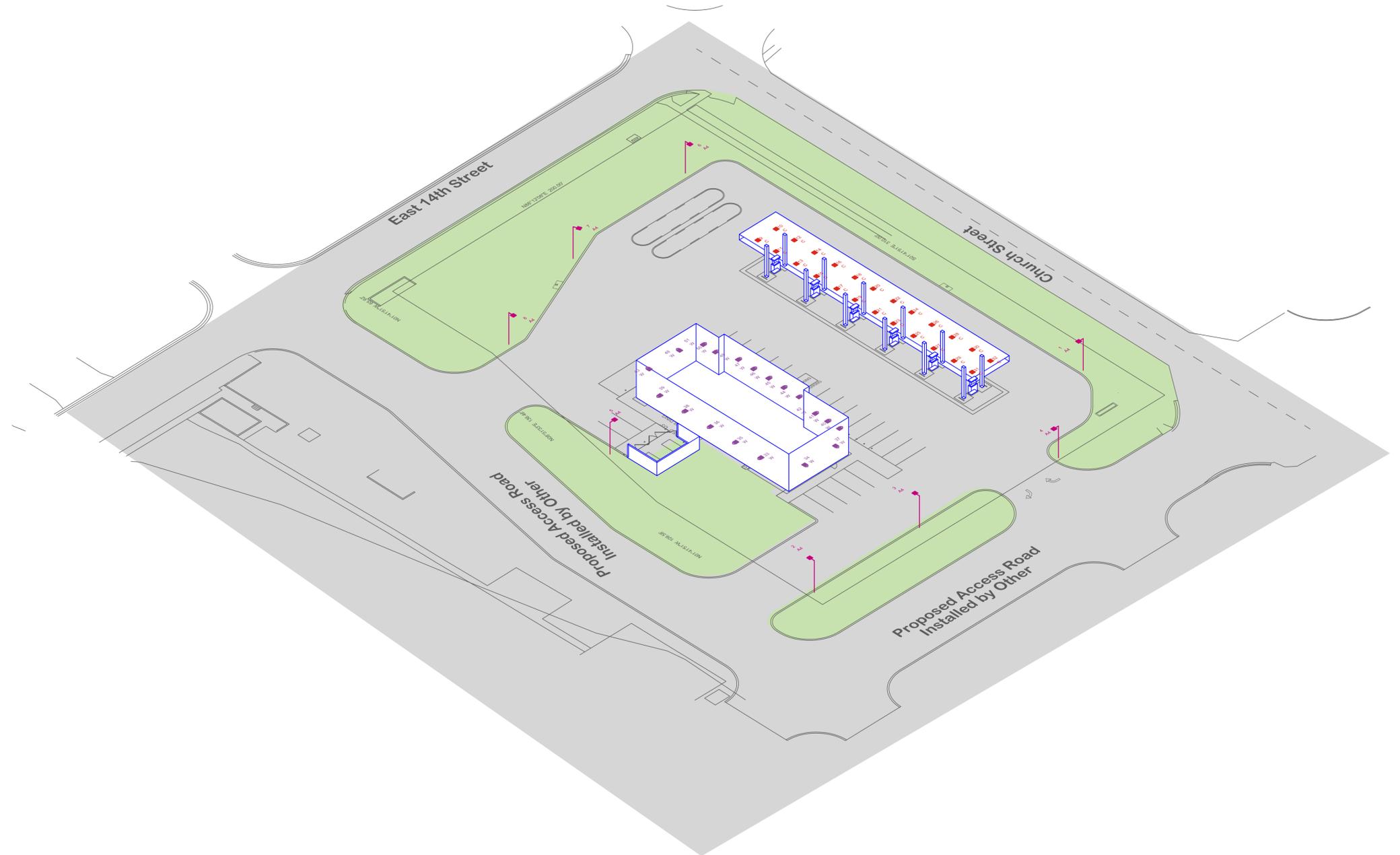
AREA  
**A4**



CANOPY  
**C**



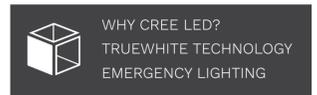
WALL MOUNTED  
**W**

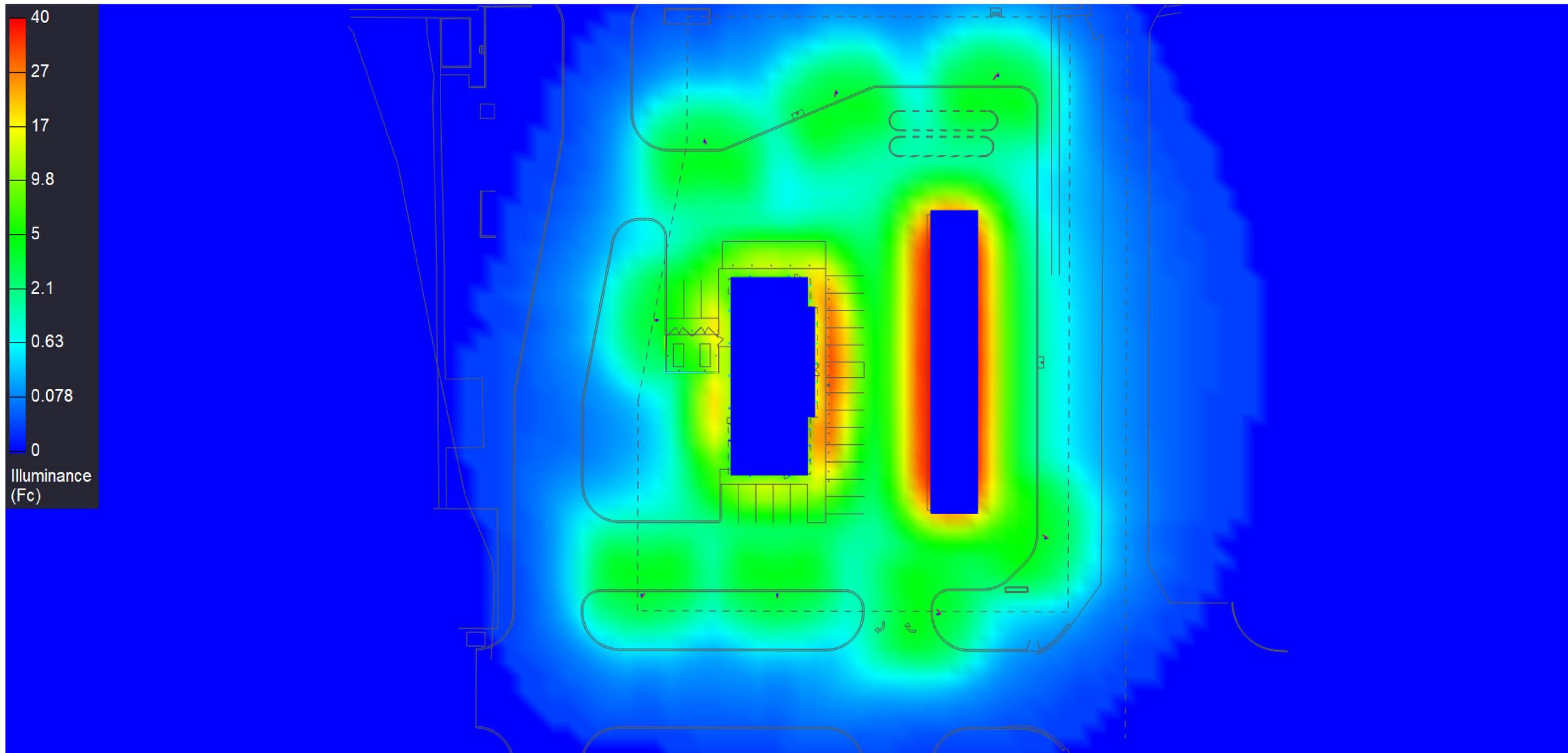


LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	8	A4	SINGLE	11259	1.040	B2-U0-G2	134	1072	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-BZ-700
	24	C	SINGLE	13251	1.040	B3-U0-G1	134	3216	CREE, INC.	CAN-304-SL-RS-06-E-UL-WH-700
	19	W	SINGLE	8739	1.040	B2-U0-G2	100	1900	CREE, INC.	SEC-EDG-3M-WM-06-E-UL-BZ-525



**CREE TRUEWHITE® TECHNOLOGY**  
LEARN MORE ABOUT THE POWER OF TRUEWHITE®





**UNDERSTAND YOUR LIGHTING SOLUTION**  
CLICK TO VIEW AN INTERACTIVE PHOTOMETRY COMPARISON

PHOTOMETRIC COMPARISON TOOL  
LIGHTING DISTRIBUTION TOOL  
IP RATINGS EXPLAINED



# AREA

PRODUCT INFORMATION

SYMBOL:	QTY:	LABEL:
	8	A4

## ARE-EDG-4M-DA-06-E-UL-BZ-700

### Cree Edge® Series

LED Area/Flood Luminaire

**Product Description**  
The Cree Edge® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weatherlight LED driver compartment and high performance aluminum heat sink. Various mounting options: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a weatherproof guard.  
**Applications:** For hotels, wedding, campuses, car dealerships, office complexes, and internal roadways.

#### Performance Summary

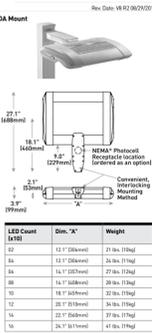
- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CEC:** Minimum 70 CRI
- CEC:** 10000 Lx-ft (2000 Lx-ft) 10000 Lx-ft 10000 Lx-ft
- Limited Warranty:** 10 years on luminaire/5 years on Colorfast Diffusion® Finish

#### Accessories

Field-Installed	Field-Installed	Field-Installed
<b>Eye System</b> Backlight Control Shields for 2000 Lx-ft 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft	<b>Head-And-Breast</b> 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft	<b>Head-And-Breast</b> 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft

#### Ordering Information

Product	Optic	Mounting*	LED Count (x100)	Series	Voltage	Color Options	Drive Current	Options
ARE-EDG-4M-DA-06-E-UL-BZ-700	2M	DA	300	06	E	UL	300	PM2 Progressive Multi-Level, 10000 Lx-ft (2000 Lx-ft) 10000 Lx-ft 10000 Lx-ft



AA/USA Mount - Use page 22 for weight & dimensions

# CANOPY

PRODUCT INFORMATION

SYMBOL:	QTY:	LABEL:
	24	C

## CAN-304-SL-RS-06-E-UL-WH-700

### 304 Series™

LED Recessed Canopy Luminaire

**Product Description**  
Luminaire housing is constructed from rugged die cast aluminum components (RS Mount) or die cast and extruded aluminum components (RD Mount). LED driver is mounted in a sealed weatherlight center chamber that allows for access from below the fixture. Luminaire mounts directly to the canopy deck and is secured in place with the cast aluminum trim frame. Luminaire housing is protected with factory applied foam gasket that provides a weatherlight seal between luminaire housing and canopy deck. Suitable for use in single or double skin restaurants with 10' (3.05m) wide panels. Designed for compact of 19-22 gauge (maximum 0.040") 11 inch (2.79m) panels.  
**Applications:** Petroleum stations, convenience stores, drive-thru banks and restaurants, retail and grocery.

#### Performance Summary

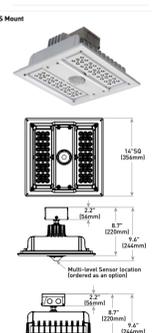
- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CEC:** Minimum 70 CRI
- CEC:** 10000 Lx-ft (2000 Lx-ft) 10000 Lx-ft 10000 Lx-ft
- Limited Warranty:** 10 years on luminaire/5 years on Colorfast Diffusion® Finish

#### Accessories

Field-Installed	Field-Installed	Field-Installed
<b>Eye System</b> Backlight Control Shields for 2000 Lx-ft 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft	<b>Head-And-Breast</b> 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft	<b>Head-And-Breast</b> 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft

#### Ordering Information

Product	Optic	Mounting*	LED Count (x100)	Series	Voltage	Color Options	Drive Current	Options
CAN-304-SL-RS-06-E-UL-WH-700	2M	RS	300	06	E	UL	300	PM2 Progressive Multi-Level, 10000 Lx-ft (2000 Lx-ft) 10000 Lx-ft 10000 Lx-ft



AA/USA Mount - Use page 22 for weight & dimensions

# WALL MOUNTED

PRODUCT INFORMATION

SYMBOL:	QTY:	LABEL:
	19	W

## SEC-EDG-3M-WM-06-E-UL-BZ-525

### Cree Edge® Series

LED Security Wall Pack Luminaire

**Product Description**  
The Cree Edge® wall mount luminaire has a slim, low profile design. The luminaire end caps are made from rugged die cast aluminum with integral, weatherlight LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting bar for installation over standard and roof ring single gang J-Boxes. Secures to wall with four 3/16" (3mm) screws by others). Coated entry from top, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through wiring. Includes weatherproof guard.  
**Applications:** General area and security lighting

#### Performance Summary

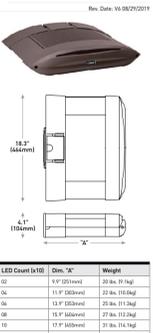
- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CEC:** Minimum 70 CRI
- CEC:** 10000 Lx-ft (2000 Lx-ft) 10000 Lx-ft 10000 Lx-ft
- Limited Warranty:** 10 years on luminaire/5 years on Colorfast Diffusion® Finish

#### Accessories

Field-Installed	Field-Installed	Field-Installed
<b>Eye System</b> Backlight Control Shields for 2000 Lx-ft 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft	<b>Head-And-Breast</b> 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft	<b>Head-And-Breast</b> 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft 10000 Lx-ft

#### Ordering Information

Product	Optic	Mounting*	LED Count (x100)	Series	Voltage	Color Options	Drive Current	Options
SEC-EDG-3M-WM-06-E-UL-BZ-525	2M	WM	300	06	E	UL	300	PM2 Progressive Multi-Level, 10000 Lx-ft (2000 Lx-ft) 10000 Lx-ft 10000 Lx-ft



AA/USA Mount - Use page 22 for weight & dimensions

UL LISTED, DLC QUALIFIED, CREE LIGHTING

UL LISTED, DLC QUALIFIED, CREE LIGHTING

UL LISTED, DLC QUALIFIED, CREE LIGHTING

Cree Edge™ LED Area/Flood Luminaire

Product Specifications									
<b>CONSTRUCTION &amp; MATERIALS</b>									
<ul style="list-style-type: none"> <li>• Slim, low profile, minimizing wind load requirements</li> <li>• Luminaire optics are rugged die cast aluminum with integral, weatherlight LED driver compartment and high performance heat sink</li> <li>• DA and RS mount utilize convenient installation for easy mounting</li> <li>• Mounting is rugged die cast aluminum, mounts to 3/4" (19.05mm) square or round hole and secures to panel with 3/16" (4.76mm) bolts, spaced 18" (457mm) on center</li> <li>• AA and SA mounts are rugged die cast aluminum and mount to 2" (50.8mm) square hole</li> <li>• Includes led/flood/beam</li> <li>• Exclusive Colorfast Diffusion® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available</li> <li>• Weight: See Dimensions and Weight Charts on pages 1 &amp; 2</li> </ul>									
<b>ELECTRICAL SYSTEM</b>									
<ul style="list-style-type: none"> <li>• <b>Input Voltage:</b> 120-277V or 347-480V, 50/60Hz, Class 1 drivers</li> <li>• <b>Power Factor:</b> &gt; 0.9 at full load</li> <li>• <b>Total Harmonic Distortion:</b> &lt; 20% at full load</li> <li>• DA and DL mounts designed with integral weatherlight electrical box with terminal strips 125A-200A for easy power hookup</li> <li>• Integral 10KV surge suppression protection standard</li> <li>• Where code dictates having a show block base or type C/D breaker should be used to address in-rush current</li> <li>• Consult factory for luminaire wiring in required</li> <li>• <b>Maximum 10KV Surge Current:</b> 20 LED (150mA), 10mA, 20 LED (1525 &amp; 700mA), 10 LED (750mA), 100 LED (3.20mA)</li> </ul>									
<b>REGULATORY VOLUNTARY QUALIFICATIONS</b>									
<ul style="list-style-type: none"> <li>• cULus Listed</li> <li>• Suitable for wet locations</li> <li>• Enclosure rated IP66 per IEC 60529 when ordered without P or R options</li> <li>• Certified to ANSI C136.31, 2001, 30' edge and overpass vibration standards when ordered with AA, DA and DL mounts</li> <li>• ANSI C136.31 10KV surge protection, tested in accordance with IEEE/ANSI C62.41.2</li> <li>• Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions</li> <li>• Luminaire and finish endurances tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117</li> <li>• DLC qualified with select ABRA, Refer to <a href="http://www.dlc.com">www.dlc.com</a> for more current information</li> <li>• Meets RoHS and REACH requirements within ABRA</li> <li>• <b>CA RESIDENTS WARNING:</b> Cancer and Reproductive Harm - <a href="http://www.cdph.ca.gov">www.cdph.ca.gov</a></li> </ul>									
<b>Electrical Data*</b>									
LED Count (x100)	System Watts 120-240V	Total Current (A)							
		120V	208V	240V	277V	480V			
300mA		02	25	0.21	0.13	0.11	0.10	0.08	0.07
60	44	0.24	0.23	0.21	0.20	0.19	0.18	0.17	0.16
90	44	0.33	0.31	0.29	0.28	0.26	0.25	0.24	0.23
120	44	0.39	0.44	0.38	0.36	0.35	0.33	0.32	0.30
150	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
180	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
210	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
240	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
270	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
300	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
330	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
360	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
390	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
420	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
450	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
480	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
510	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
540	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
570	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
600	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
630	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
660	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
690	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
720	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
750	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
780	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
810	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
840	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
870	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
900	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
930	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
960	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
990	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1020	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1050	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1080	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1110	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1140	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1170	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1200	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1230	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1260	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1290	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1320	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1350	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1380	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1410	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1440	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1470	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1500	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1530	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1560	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1590	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1620	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1650	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1680	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1710	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1740	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1770	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1800	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1830	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1860	110	0.52	0.53	0.47	0.47	0.42	0.42	0.38	0.38
1890	110	0.52	0.53	0.47					



# SIGN PACKET

**JACOB CLARK** | SIGNAGE PROJECT BUYER

3305 SE Delaware Ave | Ankeny, IA 50021

P: 515-963-3831 | F: 515-289-5606 | E: jacob.clark@caseys.com

## Eudora, KS

### **U3 Store**

- 4' Building Signage
- 4' Canopy Signage
- 4 Product Custom Monument

07-24-20

### Building & Wall Signs (U3 Store)

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft <sup>2</sup>
1	"CASEY'S"	Surface	Building Front	Internal	4' 0"	17' 0-3/4"	See A-201	See A-201	28.25
2	DO NOT INSTALL								
3	Snap Frame	Advertising	Building Front	N/A	3' 0"	8' 0"	3' 4"	6' 8-1/2"	24
4	Snap Frame	Advertising	Building Front	N/A	3' 8"	2' 4"	2' 10"	6' 10-1/2"	8.56
								<b>Total</b>	<b>60.81</b>

### Canopy

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft <sup>2</sup>
5	House Logo	Surface	Canopy Side	Internal	4' 0"	5' 8-7/8"	17' 3-1/2"	21' 3-1/2"	17.49
5	House Logo	Surface	Canopy Side	Internal	4' 0"	5' 8-7/8"	17' 3-1/2"	21' 3-1/2"	17.49
5	House Logo	Surface	Canopy Front	Internal	4' 0"	5' 8-7/8"	17' 3-1/2"	21' 3-1/2"	17.49
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
								<b>Total</b>	<b>86.71</b>

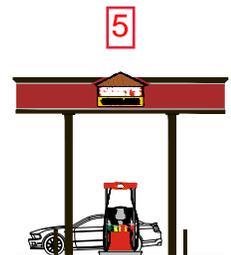
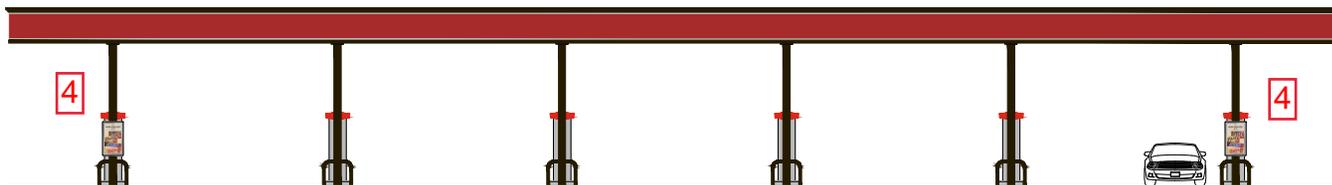
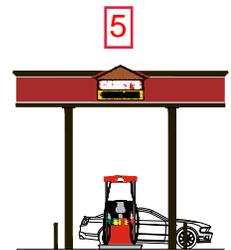
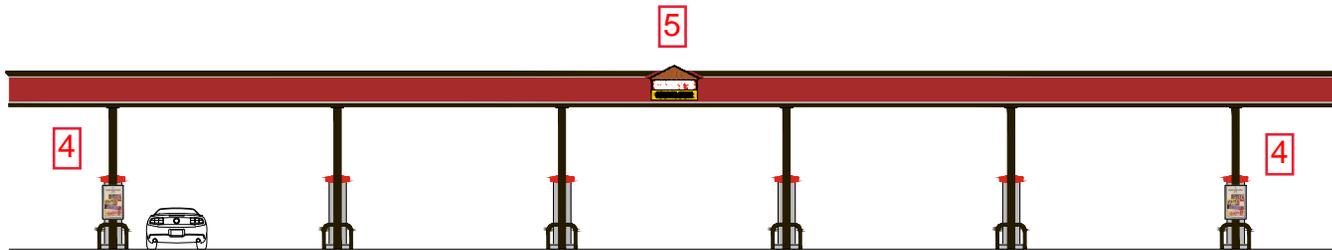
### Monument Sign (4 Product)

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft <sup>2</sup>
5	House Logo	Freestanding	Street	Internal	4' 0"	5' 8-7/8"	8' 6"	12' 6"	17.49
6	Price Sign	Freestanding	Street	Internal	5' 6"	7' 7-1/2"	2' 6"	8' 0"	41.94
								<b>Total</b>	<b>59.43</b>

**SIGNS 1, 3, 4**



**SIGNS 4, 5**



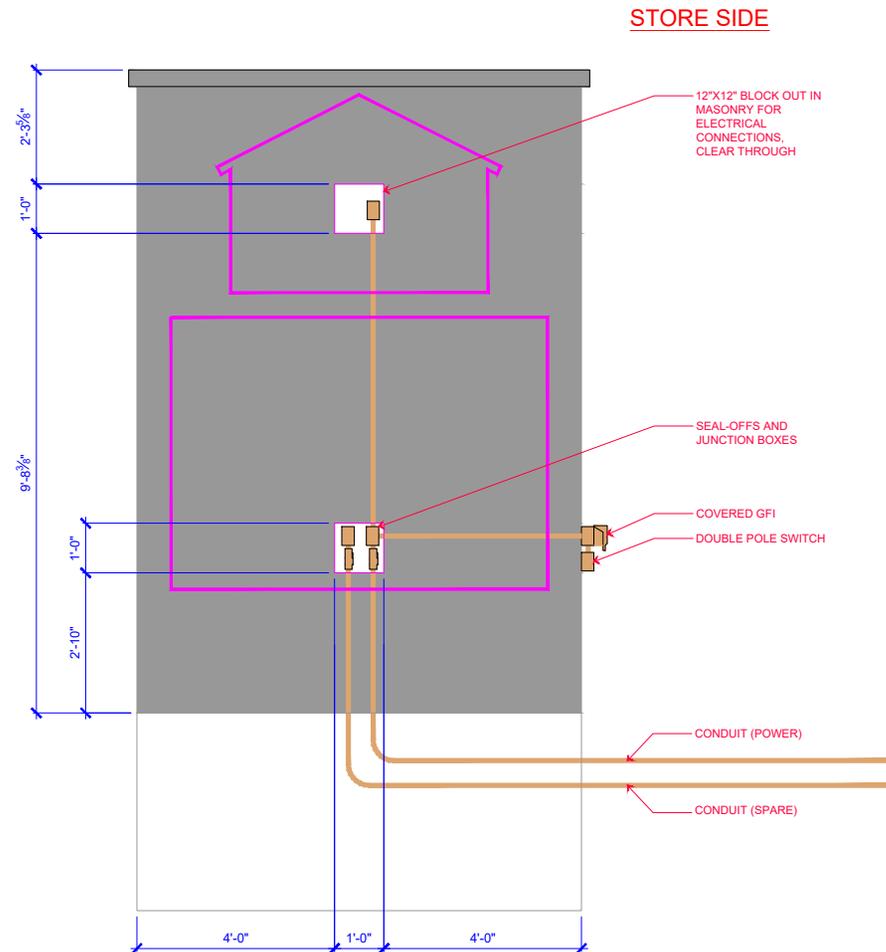
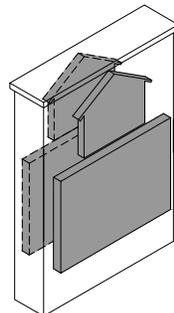
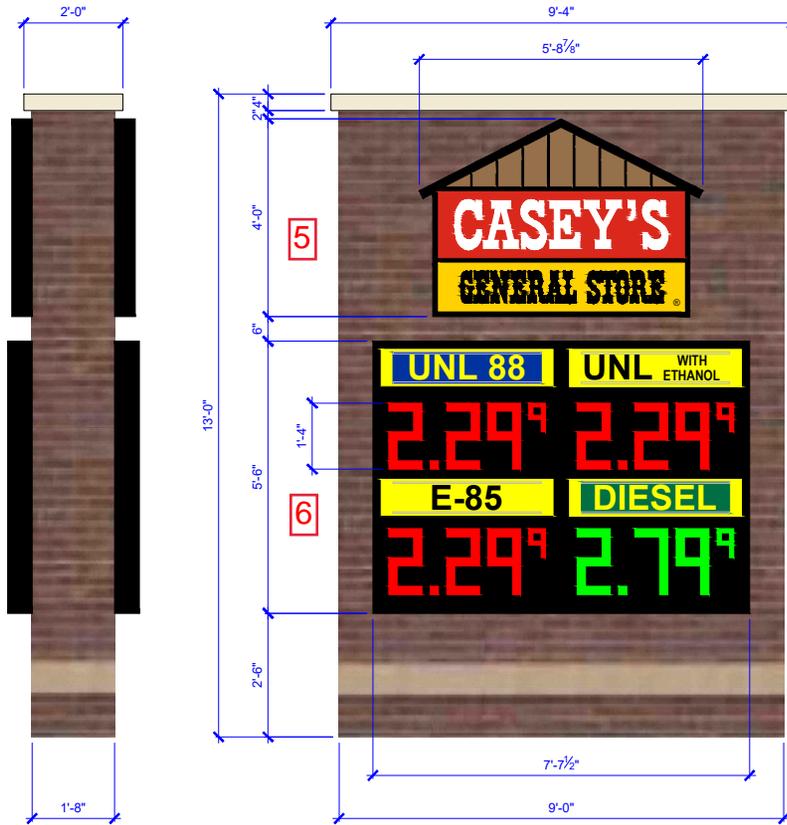
**GAS CANOPY**  
6 IN A ROW HEAD-IN

DRAWN BY:  
J. CLARK

DATE:  
05-21-20

# Monument Sign (4 Product)

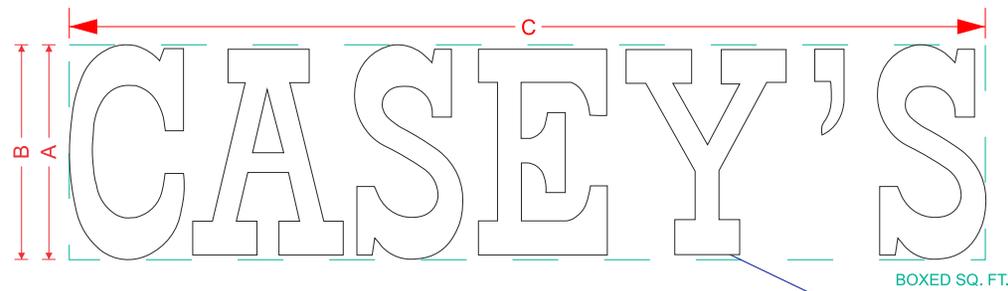
Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft <sup>2</sup>
5	House Logo	Freestanding	Street	Internal	4' 0"	5' 8-7/8"	8' 6"	12' 6"	17.49
6	Price Sign	Freestanding	Street	Internal	5' 6"	7' 7-1/2"	2' 6"	8' 0"	41.94
<b>Total</b>								<b>59.43</b>	



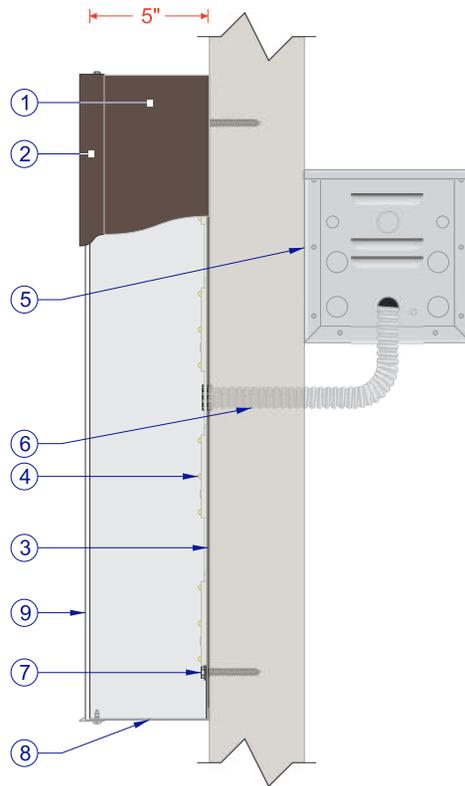
**EUDORA, KS**  
CUSTOM MONUMENT

DRAWN BY:  
J. CLARK

DATE:  
07-24-20



GRAPHIC DETAIL  
NOT TO SCALE



LETTER PROFILE  
NOT TO SCALE

CASEY'S REMOTE CHANNEL LETTER SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	.040" x 5" PREFINISHED BRONZE ALUMINUM RETURNS
2	1" BRONZE TRIM CAP
3	.063" ALUMINUM BACK
4	WHITE LED'S AS REQUIRED
5	REMOTE POWER SUPPLIES AS REQUIRED
6	ELECTRICAL OUT PROVISION: THROUGH BACK, CENTER
7	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
8	DRAIN HOLES AS REQUIRED
9	1/8" 7328 WHITE ACRYLIC FACE

NOTES:

- CHANNEL LETTER INTERIORS TO BE PAINTED REFLECTIVE WHITE
- CHANNEL LETTERS TO USE 120 VOLT STANDARD POWER
- U.L. LISTED

CASEY'S REMOTE CHANNEL LETTERS						
LETTER HEIGHT "C"	OVERALL HEIGHT	OVERALL LENGTH	AMP LOAD	LUMEN OUTPUT	BOXED SQUARE FOOTAGE	ACTUAL SQUARE FOOTAGE
A	B	C				
48"	4'-0"	17'-0 3/4"	TBD	TBD	68.26	28.25

Customer:  
**CASEY'S GENERAL STORES**

Date:  
**12/16/16**

Prepared By:  
**RM**

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Item Number: TBD

File Name:  
**CASEY'S REMOTE CHANNEL LETTERS**

Revision:  
**3**

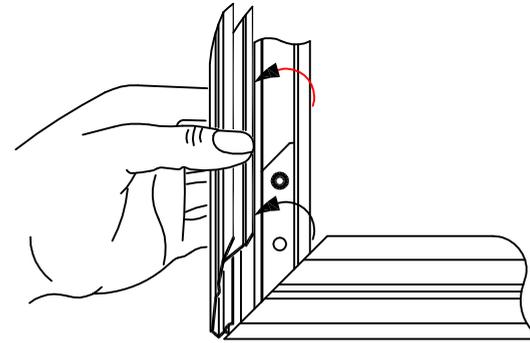
**persona**  
SIGNS | LIGHTING | IMAGE

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# INSTALLATION INSTRUCTIONS

**PLEASE READ COMPLETELY BEFORE ASSEMBLY**

## SNAPFRAME WALL SIGN



- FIGURE 1 -  
OPENING FRAME MEMBERS

### IMPORTANT NOTE

- \* This sign is designed for repeated changing of inserts and must be securely fastened to the wall in order to open and close the spring loaded frame members.
- \* USE CAUTION WHEN CLOSING SNAP FRAME MEMBERS! Hold frame by outer edge and keep finger tips away from poster grip edge.

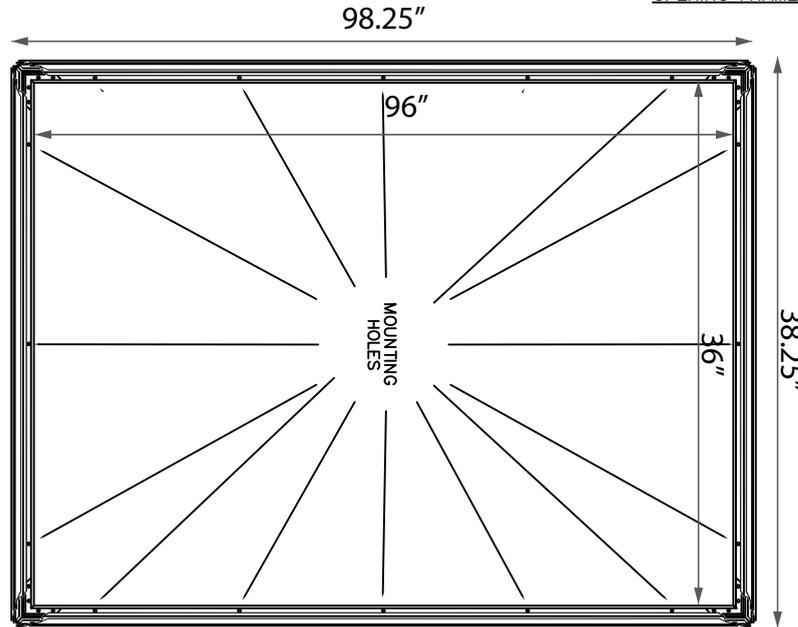
### TOOLS NEEDED

- \* Bubble type level (or string line) for sign positioning.
- \* Pencil for hole location marking.
- \* Drill with 5/16" masonry bit for masonry application only.
- \* 7/32" Metal drill bit for hole in frame.
- \* Phillips screwdriver.

### PARTS LIST

- [A] Snap frame with metal backer

BACKER SHEET WITH FRAME  
IN OPEN POSITION



**26.1 SQ FT TOTAL**

### STEP-BY-STEP INSTALLATION PROCEDURE

- ① Open all four sides of the snap frame by pulling the inside edge of the frame up and out (see figure 1).
- ② Mark hole locations on the inside of the Extrusion at the locations shown to the left. Holes should be drilled in the location indicated in Figure 2. Use a 7/32" drill bit to drill the holes for a #10 screw.
- ③ Hold sign against the wall in desired position and mark hole locations on the wall through holes in the frame. **SIGN MUST BE SECURED TO THE WALL WITH ALL (16) HOLES.**
- ④ Set sign aside and drill or punch starting holes into wall. On masonry walls, drill 5/16" holes into mortar (where possible) approx. 2" deep and insert lead expansion anchor until end is flush with the wall.
- ⑤ Hold sign against wall, align all holes and secure with screws. If you are going into wood or metal, you can still use a No.10 screw. But make sure to use the appropriate one for the material you fasten to.

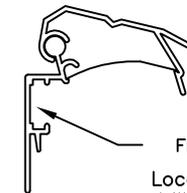
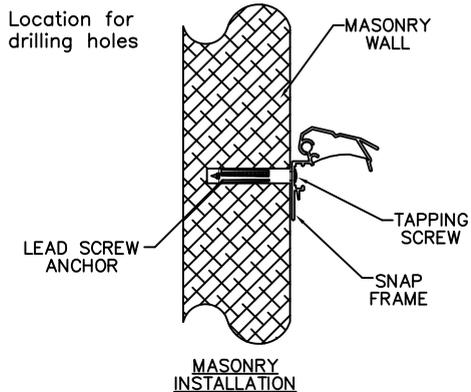


FIGURE 2 -  
Location for drilling holes



MASONRY  
INSTALLATION

inside dimensions = (96"x36")  
outside dimensions = (98.25"x38.25")

**STOUT.**  
| sign company |

A DIVISION OF STOUT INDUSTRIES  
FOR ASSISTANCE CALL: 1-800-325-8530

## INSTALLATION INSTRUCTIONS

PLEASE READ COMPLETELY BEFORE ASSEMBLY

## SNAPFRAME WALL SIGN

### IMPORTANT NOTE

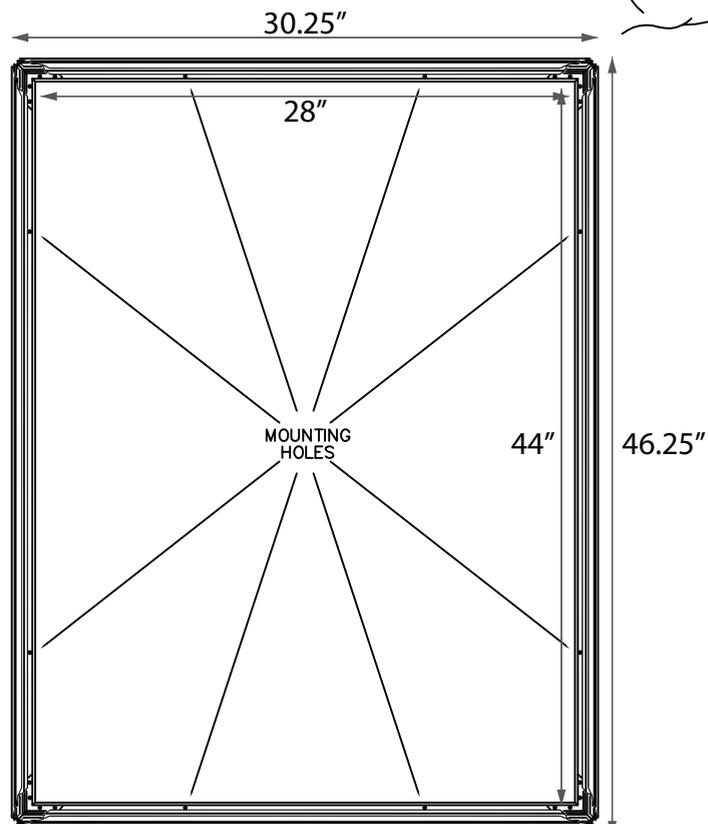
- \* This sign is designed for repeated changing of inserts and must be securely fastened to the wall in order to open and close the spring loaded frame members.
- \* USE CAUTION WHEN CLOSING SNAP FRAME MEMBERS! Hold frame by outer edge and keep finger tips away from poster grip edge.

### TOOLS NEEDED

- \* Bubble type level (or string line) for sign positioning.
- \* Pencil for hole location marking.
- \* Drill with 5/16" masonry bit for masonry application only.
- \* Phillips screwdriver.

### PARTS LIST

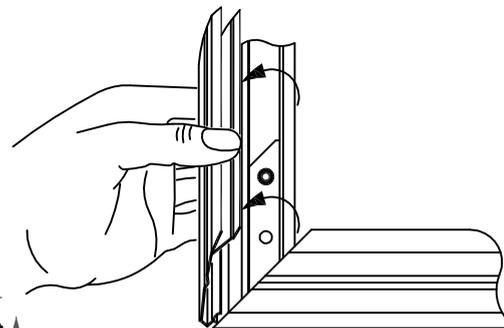
- [A] Sign face with snap frame
- [B] #10 x 1-3/4" tapping screws (8)
- [C] #10-12 x 1" lead anchors (8)



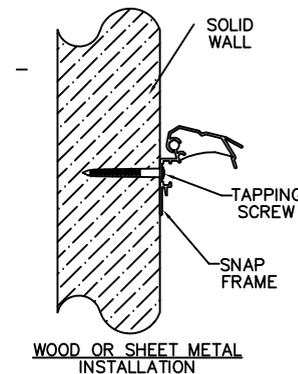
— FIGURE 2 —  
SIGN WITH FRAME  
IN OPEN POSITION

9.72 SQ FT TOTAL

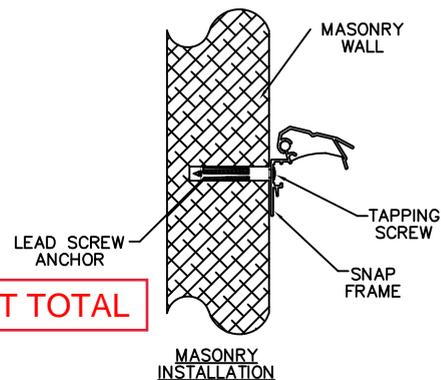
inside dimensions = (28"x44")  
outside dimensions = (30.25"x46.25")



— FIGURE 1 —  
OPENING FRAME MEMBERS



WOOD OR SHEET METAL  
INSTALLATION



MASONRY  
INSTALLATION

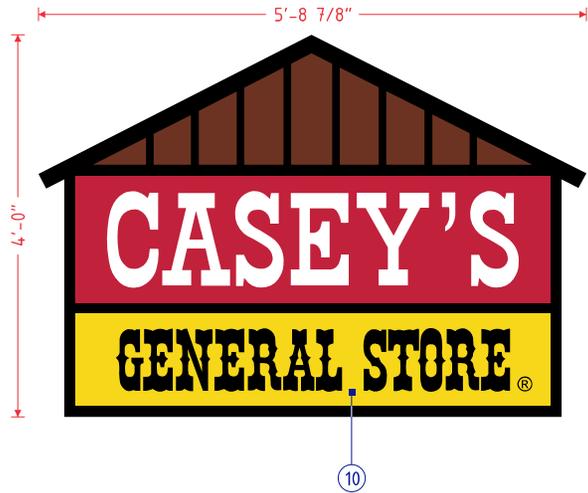
### STEP-BY-STEP INSTALLATION PROCEEDURE

- ① Open all four sides of the snap frame by pulling the inside edge of the frame up and out (see figure 1).
- ② Hold sign against the wall in desired position and mark hole locations on the wall through holes in the frame.
- ③ Set sign aside and drill or punch starting holes into wall: On wood or sheet metal walls, use 1-3/4" tapping screws only.  
  
On masonry walls, drill 5/16" holes into mortar (where possible) approx. 2" deep and insert lead expansion anchor until end is flush with the wall.
- ④ Hold sign against wall, align all holes and secure with screws.

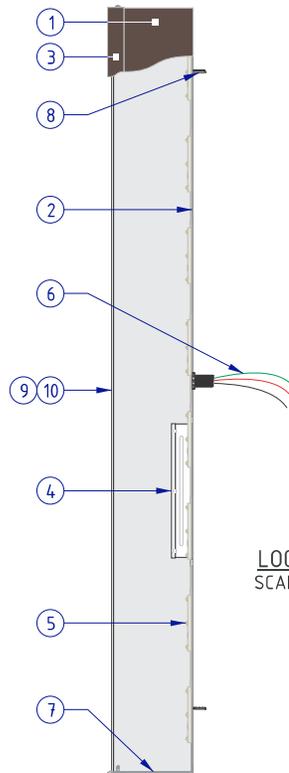
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STDI-029  
2/28/06



GRAPHIC DETAIL  
SCALE: 1/2" = 1'-0"



LOGO PROFILE  
SCALE: 1" = 1'-0"

CASEY'S 4 X 5 CHANNEL LETTER LOGO SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	.040" x 5" PREFINISHED BRONZE ALUMINUM RETURNS
2	.063" ALUMINUM BACK
3	1" BRONZE TRIM CAP
4	LED POWER SUPPLY AS REQUIRED
5	GE 7100K WHITE LED'S AS REQUIRED
6	ELECTRICAL OUT PROVISION: THRU BACK, CENTER
7	DRAIN HOLES AS REQUIRED
8	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
9	.118" CLEAR SOLAR GRADE POLYCARBONATE FACE
10	SCREENED DECORATION (2ND SURFACE)

NOTES:

- EXTERIOR FINISH: PAINTED TO MATCH PMS 313 BRONZE
- INTERIOR FINISH: PAINTED REFLECTIVE WHITE
- FACE REMOVABLE FOR SERVICE ACCESS
- U.L. LISTED
- ELECTRICAL: .65 AMPS/120 VOLTS
- SQUARE FOOTAGE:  
 BOXED = 22.96  
 ACTUAL = 17.49

Customer:  
**CASEY'S GENERAL STORES**

Date:  
**01-18-18**

Prepared By:  
**RS/RA/AP/RA**

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

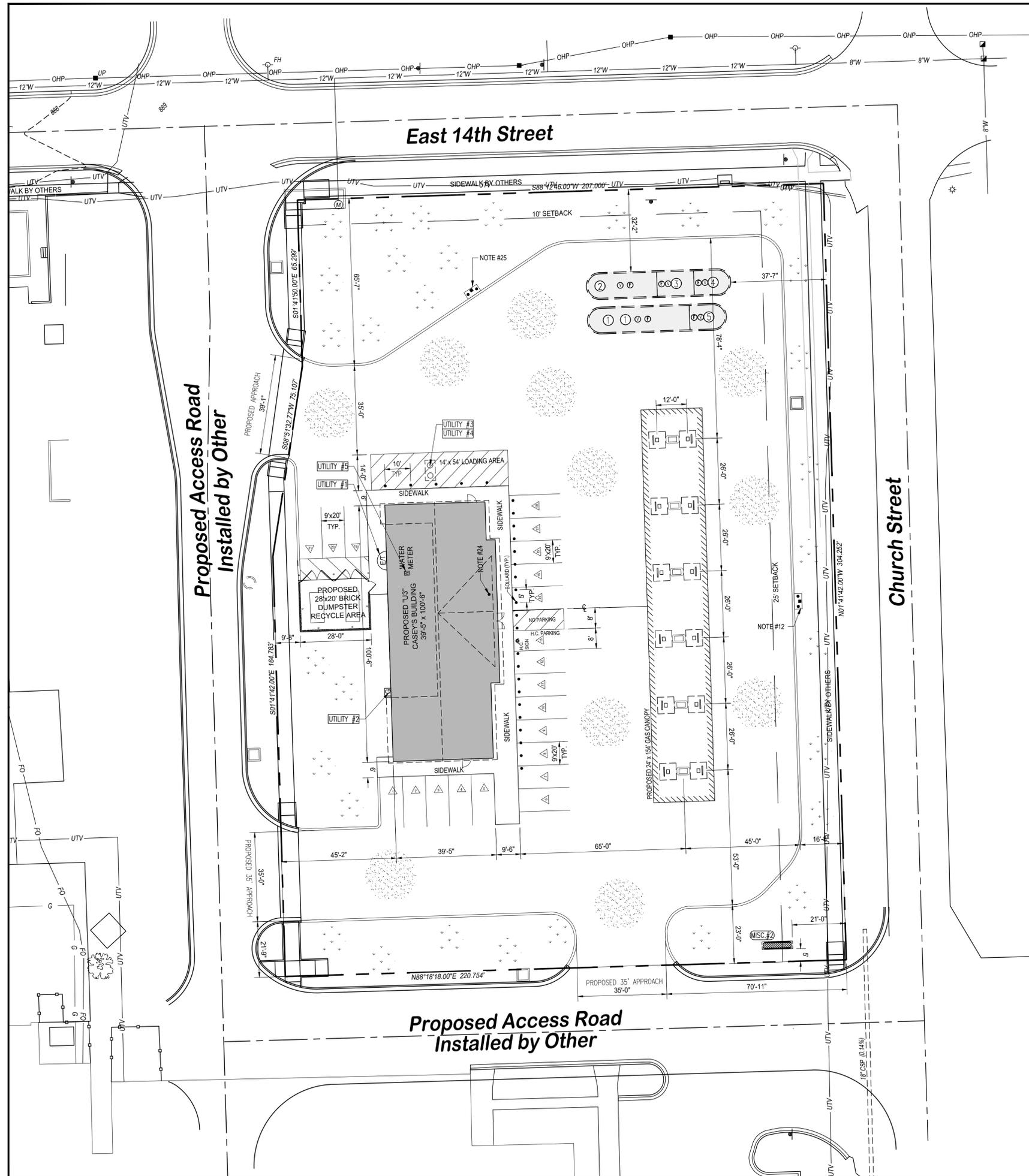
Item Number: CAS-48CLLEDITLOGOF-S

File Name:  
**CAS 4 X 5 SINGLE FACE LED CHANNEL LETTER LOGO**

Revision:  
**4**

**persona**  
SIGNS | LIGHTING | IMAGE

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### U.G.S.T. Notes

- (F) FILL W/SPILL CONTAINMENT & OVERSPILL PROTECTION (TYP.)
- (1)(2)(3)(4)(5) TURBINE ENCLOSURE TYP. CONTAINS; SUB-PUMP W/LINE LEAK DETECTION. TANK PROBE FOR FUEL MONITORING, INTERSTITIAL SENSOR AND TANK SUMP SENSOR
- (V) VENT W/SPILL CONTAINMENT & EXTRACTOR  
SUMP SENSOR @ EACH DISPENSER.

### General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY SBB ENGINEERING.

### Utility Notes

- UTILITY NOTE #1: ELECTRICAL (C-STORE); ELECTRICAL SERVICE ENTRANCE. ELECTRIC 3 PHASE, 800 AMP, 208 VOLTS, 4 WIRE. TELEPHONE 20 PAIR, 8 LINES.
- UTILITY NOTE #2: GAS (C-STORE); 1.5" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION. CONNECTION LOAD IS 680 MBH. TOTAL CONNECTED LOAD IS 680,000 BTU 618 CUFT. HR. HOUSE PRESSURE IS 7" W.C.
- UTILITY NOTE #3: SANITARY SEWER (C-STORE); 6" SCHEDULE 40 PVC SANITARY SEWER CONNECTION.
- UTILITY NOTE #4: SANITARY SEWER (C-STORE); 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES.
- UTILITY NOTE #5: WATER (C-STORE); 2" CTS, HDPE, SDR9 C5-200 PSI WATER SERVICE CONNECTION.

### Misc. Notes

- Misc. #1: DUMPSTER ENCLOSURE 6' HEIGHT BRICK TO MATCH BLDG. 4-6" METAL GATES AND 4" METAL SERVICE GATE
- Misc. #2: 4 PRODUCT MONUMENT PRICE SIGN - REFER TO SIGN PACKET

### General Construction Notes

- PETROLEUM:**
- 1.) 2 - 30,000 GALLON DOUBLE WALL FIBERGLASS TANKS.  
TANK 1 - 22,000 GALLON (87E)  
TANK 2 - 14,000 GALLON (DIESEL)  
TANK 3 - 8,000 GALLON (87C)  
TANK 4 - 8,000 GALLON (91C)  
TANK 5 - 8,000 GALLON (E85)
  - 2.) TANK SETTING DETAILS PAGE QF-301
  - 3.) FILL PIPE AND MANHOLE DETAIL PAGE QF-301
  - 4.) GILBARCO WIRING PAGE QF-601
  - 5.) GAS ISLAND SIZE - 3' x 5' W/DUAL GUARD PIPE
  - 6.) 6 - GAS GILBARCO 700 S DISPENSERS (BLENDED)  
2 = NG14 NOZZLES & 8 METERS EACH  
4 = NF8 4 OR 6 NOZZLES & 8 METERS EACH  
ISLAND DETAILS PAGE AL-501
  - 7.) ISLAND CONDUIT DETAIL PAGE E-602
  - 8.) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
  - 9.) 18" MIN. FROM TANK PIPING TO FINISH SURFACE
  - 10.) RUN VENT LINES UP SEPARATE CANOPY COLUMN. VERIFY
  - 11.) ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUTOFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF. A SECONDARY SHUTOFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS DO NOT FALL WITHIN A 100 RADIUS.
- APPROACHES/CONCRETE:**
- 13.) DRIVEWAY JOINTS TO BE PACKED & CAULKED
  - 14.) CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
  - 15.) CONTROL JOINTS - MIN. 100 sq.ft. - MAX. 125 sq.ft. - 25% DEEP
  - 16.) CONSTRUCTION JOINTS - PINNED AT 0'C. 12" EACH WAY WITH 12" REBAR #4
  - 17.) APPROACHES TO BE 7" NON-REINFORCED OR AS PER STATE/CITY SPEC.
  - 18.) SLOPE MAX. 2% FOR BUILDING SIDEWALK, H.C. PARKING 1:50 ALL DIRECTIONS  
ALL ACCESS ISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4" SEPARATION
  - 19.) 2% MAX. CROSS-SLOPE IN APPROACH/SIDEWALK AREA
  - 20.) 10" ROLL-OVER CURB TYP. - SEE STANDARD CIVIL DETAILS
  - 21.) CANOPY FOOTING: SIZE 8'-3" LENGTH x 8'-3" WIDTH x 3'-0" DEPTH.  
CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF FC-3000 p.s.i.  
CONCRETE REINFORCING: ASTM A-615 GRADE 60.  
REBAR CAGE: (8) #6 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM 12" MAXIMUM SPACING.
  - 22.) SIGN BASE AND DETAILS PAGE AL-601
- SITE ITEMS:**
- 23.) VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
  - 24.) IRRIGATION REQUIRED WITH RAIN SENSOR MOUNTED ON BACK RAILING OF ROOF.
  - 25.) AIR COMPRESSOR BOX, MOUNTED TO STEEL POLE, INSTALLED ON 3' x 6' CONCRETE PAD 16" FROM BACK OF CURB. 110 VOLT-60HZ-5.5 AMP. 8 GAUGE MINIMUM RECOMMENDED.

### Keyed Construction Notes

- NOTICE: ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF EUDORA, KS. APPROVAL AND SPECIFICATIONS.
- (A) PROPOSED 20' RADIUS
  - (B) PROPOSED 10' RADIUS
  - (C) PROPOSED 2' RADIUS
  - (D) TIE INTO AND MATCH EXISTING PAVEMENT & FLOW LINE.
  - (E) 2% MAX. CROSS-SLOPE IN SIDEWALK AREA.
  - (F) DETECTABLE SIDEWALK MAT. VERIFY WITH CITY.

### Legend

- SURVEYORS SUGGESTED LEGAL:**  
A part of lots 1 through 7, inclusive and lots 14 through 20, inclusive, Block 188, a part of vacated Locust Street and a part of the vacated alley adjacent to said lots, all in the City of Eudora, Douglas County, Kansas, all being more particularly described as follows: BEGINNING at the Northeast corner of said Lot 20; thence S01°41'51"E, 310.00 feet along the East line of said Lots 14 through 20; thence S88°18'09"W, 225.00 feet; thence N01°41'51"W, 109.58 feet; thence N08°51'33"E, 136.46 feet; thence N01°41'51"W, 65.92 feet to a point on the North line of said Lot 1; thence N88°12'08"E, 200.00 feet to the POINT OF BEGINNING. Containing 1.52 acres more or less.
- (A) MARKED PARKING SPACES (PAINT LINES AS INDICATED)
  - (B) CONCRETE PAVING OR SIDEWALKS (48,075 SQ. FT.)
  - (C) AREA TO BE SOD
  - (D) AREA LIGHTS (8 SHOWN) REFER TO LIGHTING PLAN RL-6516-S1-R2 DONE BY RED LEONARD

**Legend**

TRUE PLAN NORTH NORTH

**A1 Site Layout Plan**  
1" = 20'

**SPECIAL REQUIREMENTS:**  
 "U3 STORE WITH SCREENING"  
 "BRICK FRONT OF BLDG"  
 "BRICK TRASH ENCLOSURE"  
 "4 PRODUCT MONUMENT SIGN"  
 "SELLER TO EXTEND ALL UTILITIES TO SITE"  
 "PROPOSED ACCESS ROADS BY OTHER"

### Vicinity Map



<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100		
PROJECT <b>EUDORA, KS.          U3 STORE</b>	PUBLISHED <b>12-11-19          12-20-19          01-08-20          02-04-20          02-11-20          04-16-20          06-11-20</b>	DRAWING INFORMATION <b>SITE          PLAN</b> <hr/> <b>AL-101</b>
DRAWING INFORMATION <b>CONSTRUCTION DIVISION</b>	CHECKED BY <b>J.VILMAIN</b>	